



PLANNING BOARD AGENDA

Members:

Chairman: Mark Lane (ETJ)

Vice-Chairman: Debbie Howard (Town)

Doris Wallace (Town)

Ashley Spain (ETJ)

Bryan Stanley (Town)

Alisa Bizzell (Town)

Wiley Narron (Alternate)

Tara Meyer (Alternate)

Stephen Wensman, AICP, ALA, Planning Director

Chloe Allen, Planner I

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, September 5th, 2024

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

**Town of Smithfield
Planning Board Directory
2024**

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**PLANNING BOARD AGENDA
FOR REGULAR MEETING
SEPTEMBER 5, 2024
MEETING TIME: 6:00 PM
TOWN HALL COUNCIL CHAMBERS**

Call to Order.

Pledge of Allegiance.

Identify voting members.

Approval of the agenda.

Approval of the minutes for August 1, 2024.

New Business.

RZ-24-08 606 S Third Street: Syed Rizvi (New Vision Trust Custodian) is requesting the rezoning of 606 S. Third Street from R-8 (Single, Two, and Multi-family) to O/I (Office-Institutional). The property is located on South Third Street, 105 feet south of Rose Street and adjacent to the Armstrong Law Office.

SUP-24-03 Country Club TH: Brian Leonard (BRL Engineering) is requesting a special use permit for Country Club Townhomes, a 60-unit townhome development on 8.06 acres in the B-3 (Highway Entranceway Business District). The proposed development is located at the northwest intersection of South Brightleaf Boulevard and Country Club Road, identified by the Johnston County Tax ID#s 15J11023.

CZ-24-05 Buffalo Ridge: Smithfield Land Group, LLC., is requesting the rezoning of approximately 140 acres of land located at 1041 Buffalo Road, also identified by the Johnston County Tax ID 140001021, from R-20A to R-8 Conditional with a masterplan for a 210-lot detached single-family residential development. The property is located at 1041 Buffalo Road, north of Buffalo Creek on the west side of Buffalo Road.

Old Business.

Adjournment.

**Draft
Town of Smithfield
Planning Board Minutes
Thursday, August 1, 2024
Town Hall Council Chambers
6:00 PM**

Members Present:

Chairman Mark Lane
Vice-Chairman Debbie Howard
Doris Wallace
Ashley Spain
Wiley Narron
Bryan Stanley
Tara Meyer

Members Absent:

Alisa Bizzell

Staff Present:

Chloe Allen, Planner I
Andrew Harris, Finance Director

Staff Absent:

Stephen Wensman, Planning Director
Julie Edmonds, Administrative Support Specialist

CALL TO ORDER

PLEDGE OF ALLEGIANCE

IDENTIFY VOTING MEMBERS

APPROVAL OF AGENDA Doris Wallace made a motion to approve the agenda, seconded by Ashley Spain.

APPROVAL OF MINUTES July 11th, 2024

Doris Wallace made a motion to approve the minutes, seconded by Debbie Howard. Unanimously approved.

NEW BUSINESS

CZ-24-04 Massey Street Subdivision: Adams & Hodge Engineering, PC is requesting the rezoning of approximately 0.38 acres of land located on Massey Street on the block between South Sixth Street and South Seventh Street, also identified by the Johnston County Tax ID 15026054 and 15026055, from R-8 to R-8 Conditional with a plan for three detached single-family residential homes.

Chloe Allen stated the applicant Adams & Hodge Engineering, PC is requesting the rezoning of approximately 0.38 acres of land from R-8 to R-8 Conditional with a plan for three detached single-family residential homes. The proposed development is a 3-lot single-family residential lot subdivision that is being proposed as an extension of the Spring Branch Commons Phase 2 with matching lots size, setbacks, architecture, and utilizing the Spring Branch Commons Phase 2 alley for access.

The proposed three lots will have street frontage on Massey Street (41' of frontage minimum) with vehicular access and parking in the rear with a 16' wide private alley. The alley is an extension of the Spring Branch Commons Phase 2 alley. Spring Branch Commons Phase 2 has not been constructed; therefore, a condition of approval should be that an access easement be secured for alley access to S. Sixth Street.

Deviations from Town Requirements:

- o Minimum lot frontage reduction from 70 feet to 41 feet.
- o Minimum lot area reduction from 8,000 sf. to 3,444 sf.
- o Driveway (alley width) 16 feet.
- o Front Setback from 30 feet to 10 feet.
- o Side Setback from 10 feet to 5.5 feet.
- o Rear Setback from 25 feet to 20 feet.

Standards Exceeding UDO Requirements:

- o Rear loaded lots (alley vehicular access)

Planning Staff recommends the Planning Board recommend approval of CZ-24-04 with the following conditions:

1. That the future development plans for the project be in accordance with the approved Master Plan and other UDO regulations with the deviations:
 - Minimum lot frontage reduction from 70 feet to 41 feet.
 - Minimum lot area reduction from 8,000 sf. to 3,444 sf.
 - Driveway (alley width) 16 feet.
 - Front Setback from 30 feet to 10 feet.
 - Side Setback from 10 feet to 5.5 feet.
 - Rear Setback from 25 feet to 20 feet.
2. That an access easement be obtained for the alley access to S Sixth Street.
3. That the approval be contingent on the construction of the Spring Branch Commons Phase 2 development and Agreement by Spring Branch Commons Phase 2 to share the mail kiosk and driveway.
4. That an HOA be established to maintain common areas and amenities.
5. That architectural standards be provided and incorporated in a homeowner's association (HOA) documents.
6. Stormwater management be addressed with the future preliminary subdivision plat and construction plans.
7. Fencing be installed along the street frontage matching those in Spring Branch Commons Phase 2.
8. Storage pads for trash and recycling rollouts shall be provided along the rear façade of each home.

Mark Lane stated we have a minimum lot size of 3,444 sf. He asked what size house would go on a lot that small?

Chloe Allen said similar to the houses that have gone in Spring Branch Commons Phase 2 lots.

Donnie Adams of Adams & Hodge Engineering came forward. He pointed out that this project is a continuation of Spring Branch Common Phase 2, however it has different owners and developers. He stated these three homes would be two story. They have no issues with the conditions placed on these lots.

Mark Lane asked Mr. Adams what type of construction materials would be used on the exterior of the homes?

Donnie Adams stated no architectural design standards have been proposed; however, the master plan drawings show the front elevation of a future two-story home with lap, board and batten and shakes, that is different than the homes planned for the Spring Branch Phase 2.

Mark Lane asked that anyone coming forward from the audience to speak, not give their address. He stated their name and community would suffice.

Pam Lampe came forward to ask what the developer would be allowed to do if conditional zoning wasn't allowed? How many houses would they be allowed to build?

Chloe Allen said they would have to either come back and reapply or build something permitted by right. Currently these lots are zoned R-8, therefore they would have to be built on 8,000 sq foot lots. Chloe said possibly two homes could be built on that size lot, depending on how they were arranged.

Pam Lampe said it seems we're giving more than we're receiving. It appears all we are getting is an alley way behind these homes.

Chloe Allen said it depends on the conditions that we choose. You can place architectural standards on there, or that an HOA be established.

Mark Lane stated that he agreed with the conditions put in place. He said we never seem to get what we give.

Tom Jancuska came forward and spoke as the owner of Spring Branch Commons Phase 1 and Phase 2. The product he's building is all vinyl. He has fireproof material going down the soffit where the homes are closest to each other as required by code. He's aware and agrees there's a housing shortage. He's trying to stay under \$300,000 as a price point for these homes. If he's required to use hardie plank siding, he will not absorb that additional cost. It will be passed along to the consumers.

Mark Lane isn't a fan of conditional zoning; he thinks it was a mistake that the Town chose it.

Debbie Howard said she likes conditional zoning; it allows conditions to be placed on the projects. Debbie Howard made a motion to recommend approval of the zoning map amendment, CZ-24-04, with 8 conditions of approval, finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest; seconded by Doris Wallace. Unanimously Approved.

SUP-24-01 Hartley Drive Townhomes: TerraEden Landscape & Design LLC is requesting a special use permit for Hartley Drive Townhomes, a 94-unit townhouse development on 9.611 acres of land in the R-8 Zoning District. The property is located north-west of the Hartley Drive and Coates Drive intersection, also identified by the Johnston County Tax ID 15K09010A, 15K09010P, and 15089019A.

Chloe Allen stated TerraEden Landscape & Design, LLC is requesting a special use permit for Hartley Drive Townhomes, a 94-unit townhouse development on 9.611 acres of land in the R-8 Zoning District. This property is currently zoned R-8 and is vacant and covered with woods. There is a deep drainage ditch running east to west near the Hartley Drive right-of-way. There are no wetlands or floodplain on the property. An existing 20' sanitary sewer easement runs north-south on the west edge of the development site. There are several vacant landlocked parcels surrounding this proposed development. The UDO Section 10.111 requires street connectivity to adjacent properties. This development is not proposing any public streets, rather the townhouses will front on private/HOA parking facility. Sidewalks will be constructed along the edge of Hartley Drive at the back of the curb which will be connected continuously across the fronts of all townhomes.

- The individual townhomes will have a 2-foot modulation to break off the mass and bulk of the units.
- There will be entrance porches
- Corner sidewalks will have a ground floor and upper floor window.
- Each unit will have a patio and storage area.
- Building materials (vinyl, brick, stone, etc.) have not been identified
- Unit width will be 17.5 feet
- Individual lots will be 17.5' wide by 53.5' deep (936025 sq. ft.)
- The building height will be approximately 30'.
- Townhouse buildings will be 6-8 units each.
- Each unit will have 36.75 sq. ft. of storage, greater than required.
- Each townhouse will have multiple building materials and colors.

Planning Staff recommends approval of SUP-24-01 with the following conditions: 1. That the parking lot entrances be constructed in accordance with the town's standard driveway detail. 2. That a traffic impact study be conducted prior to the preliminary plat. 3. That a 30' wide public utility easement be provided over the proposed water and sewer lines.

Debbie Howard asked if this development would be done in phases?

Chloe Allen said that she didn't know.

Paul Embler with TerraEden Landscaping & Design LLC came forward. He stated it hadn't been decided yet if the development would be built in phases. If it were to be phased it would have to start at the road and work back. Mr. Embler emphasized that this project meets all requirements that the Town currently has in its UDO.

Mark Lane asked if this project was being contracted out? Is the land being developed and sold?

Paul Embler said that would be a question for the owner.

Brian Leonard of BRL Engineering came forward. He doesn't know the type of lines being used underground. Public Utilities would be able to address that. He also doesn't know if this property will be phased or if it will be developed then sold.

Brian Leonard asked Chloe Allen why there was a 30' utility easement over the proposed water and sewer lines as a condition? He said he surveyed and mapped the property already and he didn't find any records of an existing utility easement. On their map they showed a 20' easement and dedicated it on that plat.

Chloe Allen said she assumed it was something that was standard for the Town. She doesn't recall seeing any comments from Ted Credle, Public Utilities Director concerning that.

Brian Leonard suggested maybe getting more information on this before the recommendation goes before Town Council to see if it is necessary.

Paul Embler suggested to Planning staff, that a street type turn in would be more appropriate; it gives a much smoother turn than the driveway type turn in. He will get with Stephen Wensman in regard to it.

Paul Embler pointed out that Planning staff listed the TIA (Traffic Impact Analysis) be done prior to the acceptance of the plat. He stated that was short notice because this project goes before Town Council at their next meeting. He would like to know if that can be rolled back to the construction phase drawings.

Chloe Allen asked if Paul Embler could get it initiated at the very least.

Paul Embler said they might could get it initiated but it would be rather difficult to get it under contract in that short amount of time.

Debbie Howard asked who pays for the TIA to be done? Is it the developer?

Chloe Allen said yes, the developer.

Debbie Howard asked what happens if the TIA indicates the development will generate over 1000 trips per day?

Chloe Allen said it could determine the turn ins for the driveways or the number of entrances they need.

No recommended motion is needed from Planning Board.

SUP-24-02 Heritage Townes at Waddell: Samuel O'Brien (Shovel Ready Johnson, Inc) is requesting a special use permit for Heritage Townes at Waddell, a 16-unit townhouse development on 1.88 acres of land in the R-8 Zoning District. The proposed development is located 19 and 21 Waddell Drive, approximately 460 feet north of the Brightleaf Boulevard and Waddell Drive intersection, and further identified by the Johnston County Tax ID#s 15005023, 15005022, and 15005022A.

Chloe Allen stated Shovel Ready Johnson, Inc. is requesting a special use permit for Heritage Townes at Waddell, a 16-unit townhouse development on 1.88 acres of land in the R-8 Zoning District.

The property considered for approval is comprised of 3-detached single family residential lots. There is an existing home and shed that will be removed by this project.

- There is a perennial stream requiring a 50' riparian buffer near the west property line. Along the stream corridor are large existing trees and other vegetation.
- An existing 3' high metal/barbed wire fence runs along the east property line.
- An existing 20' wide sanitary sewer easement runs north-west from Waddell Drive toward the rear of the lot towards the Nursing Home on Berkshire Drive.
- Waddell Drive is an 18'-wide road with drainage ditches on the sides without sidewalks.

Chloe Allen stated that multi-family residential is a special use with supplemental standards in the R-8 Zoning District according to Article 6, Table 6.6 of the Unified Development Ordinance. The supplementary standards for multi-family are found in UDO Article 7, Section 7.35. There are 3-townhouse buildings proposed (3-unit, 6-unit and 7-unit each). The townhome development is being designed to have a central driveway leading to the rear of the units (parking courtyard). Each unit will have a 2-car garage. In the parking area is a landscape island with 7 overflow parking spaces and a kiosk mailbox. The fronts of the townhouses face outward towards the sides and rear lot lines. Each unit will have a front yard area linked to a shared sidewalk that encircles the buildings. Each unit will have 3 bedrooms with 2-baths.

Planning Staff recommends approval of SUP-24-02 with the following conditions:

1. That the driveway be constructed in accordance with the Town's driveway apron detail.
2. That the existing sanitary sewer line and easement be relocated with the approval of the Town's Public Utilities Director.
3. That rollout trash containers be screened from the public right of way or stored within the garages.
4. That the developer constructs a 5' wide public sidewalk in the public right of way, or in an easement for the sidewalk along the right of way.
5. There shall be a homeowner's association to own and maintain all common amenities such as the parking lot, sidewalks, landscaping, mail kiosk, and stormwater management facility.

Sam O'Brien from Shovel Ready Johnson, Inc came forward. He stated that this project is the first one that he's presented to the Town of Smithfield, but he has been associated in real estate in Smithfield since 2019. He has tried to offer a project that meets the UDO requirements. His vision for this development is to offer a nicer product than what is currently on the market. He's offering things such as gable roofs for a special touch. These townhomes will be approximately 1491 sq. feet. The price point for these homes will run around \$295,000.

Tyler, an engineer on this project came forward to speak on Heritage Townes at Waddell. He pointed out the sidewalks that would be provided as well as rerouting and upgrading the sanitary sewer line. They also will have a stormwater pond in the back which will operate as a managed wetland. It will provide nutrient benefits to the stream in general.

A resident of Smithfield named Richard Alvarez came forward and stated that he lived right behind the stream. He would like to know what kind of buffer will be used there between the dwellings.

Sam O'Brien stated the wetlands mentioned is all really thick forest and they can't impact that at all.

Richard Alvarez asked if these townhomes would ever become rental properties?

Sam O'Brien answered no, but he can't speak for what may happen later in the future.

Richard Alvarez said renters don't always value the neighborhoods. Should these units ever become rentals, it will certainly impact the neighborhood.

No recommended motion is needed from Planning Board.

Old Business

ZA-24-02 Multifamily in B-3 Amendment: Request by Staff to amend the Unified Development Ordinance, Article 6, Section 6.6 Table of Uses and Activities to remove the multi-family land use from the B-3 Zoning District entirely.

Chloe Allen stated multi-family is a special use with supplementary standards in most residential and commercial zoning districts including the B-3 zoning district. As an alternative to a special use permit, a developer can request a conditional rezoning (such as B-3 CZ). The B-3 Zoning District is the most expansive zoning district in that it allows the greatest variety of land uses including intensive uses such as car dealerships, contractor yards, warehousing and more, not always appropriate adjacent uses for multifamily residential. This ordinance amendment would remove multi-family as use in the B-3. If a developer wished to pursue such a use, a rezoning to a different zoning district would be required. This ordinance will give the Town Council more control over where multi-family uses can be located. Adoption of this ordinance will result in making some existing multi-family residential legal nonconforming.

Chloe stated that she researched surrounding towns and most of the municipalities do not permit it. Princeton and Benson allow multi-family, Wilson's Mills requires a special use permit, and they only allow it in residential, mixed use and their main street zoning districts which is similar to our B-1 zoning district. They do not allow it in their C-70 district which is like our B-3. Archer Lodge allows multi-family in neighborhood business, O&I and planned developments. Clayton only allows it in conditional zoning. They don't permit special use permits in any particular

zoning district for multi-family. Selma, has it permitted in high-density residential districts, transitional districts, O&I and central business districts which is more like B-1. However, they don't allow multi-family in general or interstate business, which is like our B-3. Pine Level requires a special use permit in single and multi-family residential districts, multi-family is not allowed in commercial districts. Cary only permits it in multi-family and mixed-use overlay districts.

Mark Lane asked Chloe Allen if notices were mailed out to all B-3 property owners?

Chloe Allen said Planning staff consulted with Bob Spence, the Town Attorney and he indicated it wasn't a legal requirement to contact all B-3 property owners for text amendments.

Mark Lane stated in 1985 the General Assembly amended G.S. 153A-343 and 160A-384 to require individual mailed notices to those parties most directly affected by certain legislative zoning decisions: "zoning classification actions." In 1987 this provision was amended to exempt the total rezoning of an entire community from the mailed-notice requirement. After reading that he would like to know why property owners weren't notified by mail?

Chloe Allen said she followed the recommendation of the Town Attorney. She suggested he talk to Stephen Wensman or Bob Spence.

Mark Lane said that is why he asked for them to be present tonight.

Debbie Howard said after reviewing the general statute it states if there are over 50 B-3 properties and there are large scale zoning map amendments being required you don't have to send first-class mail. If there are over 50 at the very least, you're required to place a half page ad in the newspaper. Any property owners not in that circulation area are required to be notified by first-class mail.

Chloe Allen said the Town advertised in The Johnstonian News.

Ashley Spain said at the last Planning Board meeting, the board voted to table this amendment until a study had been conducted. He wanted to know why that wasn't acknowledged as their recommendation.

Chloe Allen said you can still maintain that recommendation. She stated at the last meeting she wasn't aware that Town Council only had to give the Planning Board 30 days to either approve or deny a case before moving forward.

Ashley Spain said he guessed most B-3 property owners are unaware of this change and he doesn't agree with them not being notified by mail. He also doesn't understand what the hurry is to make this change. He asked why it is so important that this change take place after the 30 days of Planning Board asking that it be tabled?

Mark Lane said when he asked Stephen Wensman and Bob Spence this question, he was told because the Mayor, Andy Moore said to add it to the agenda.

Ashley Spain asked who initiated this amendment?

Chloe Allen said the mayor.

Mark Lane asked why the mayor initiated it?

Chloe Allen said she was told the mayor felt it wasn't always an appropriate use to have apartments beside uses such as industrial or car dealerships.

Debbie Howard asked why these B-3 property owners can't be given a voice in this change without telling them what they can and can't do.

Chloe Allen said that can be made a recommendation to Town Council.

Chloe said Planning Staff recommends that Planning Board recommend approval of the zoning text amendment ZA-24-02, with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

Bonnie White from Johnston County Association of Realtors came forward and spoke on a housing assessment that will be available on September 27th and will include a multitude of counties. There will be another one that will focus on Johnston County, but it will not be available for another 6 months. She passed out a handout to each board member outlining the housing assessment.

Perry Harris of Four Oaks came forward. He spoke on the Planning Board tabling ZA-24-02 at their previous meeting. He agreed that was what they should have done until the housing assessment for Johnston County could be completed. As far as sending out notices to B-3 owners affected by this change he said if the town attorney said that wasn't legally required that's one thing but is it the right thing to do? He's certain most B-3 property owners are unaware of this possible change, and they won't be happy about it. They should be contacted about why and when these meetings are taking place.

James Bush came forward on behalf of Johnston County Association of Realtors. He feels this text amendment is questionable. He doesn't see why housing can't be near a dealership or a warehouse. It should be allowed near commercial uses.

Paul Embler of Smithfield came forward to speak. He's in opposition of this text amendment. He stated we do need affordable housing in Smithfield. We need a good variety of housing that meets the needs of each individual. He agrees it's fine to live near a commercial use.

Olita Boone, President of Johnston County Association of Realtors came forward. She came to express the opposition of this amendment on her and the associations behalf. She said there is a growing gap between high- and low-end home buyers. There is a missing middle, and we don't want to create barrier for affordable housing. That missing middle that she mentions includes teachers, nurses, police officers, government employees and other essential workers that live in this community. She stated it was imperative that we make zoning regulations responsibly. She asked the Planning Board to reconsider this proposed amendment so that homes can be more affordable.

Teresa Daughtry, a commercial relator with Partners Realty came forward to speak. She asked what Smithfield wanted, residential or commercial? She stated there are businesses that have come to our town and have said you don't have enough rooftops. Smithfield needs to be a friendlier town. We need a full-time economic development position. Other towns are very welcoming to growth but Smithfield not so much. We need to be better or as a town we will dry up. She stated that the mayor and the planning director should have been present at this meeting.

Pam Lampe of Smithfield asked that the Planning Board deny this text amendment until the Town notifies all property owners that it will affect.

Mark Lane said he spoke to the mayor of Selma, and they allow multi-family, but it has to be 4 or more acres. It can be in business or residential districts. Mark Lane wanted it pointed out that he feels this application is incomplete. He feels it needs to go back to staff and then come back to this board.

Debbie Howard made a motion for Town Council to delay final action on this amendment until such time the Planning Board can present its recommendation to the Town Council, seconded by Doris Wallace. Unanimously approved.

Adjournment

Doris Wallace made a motion to adjourn, seconded by Debbie Howard. Unanimously approved.

Next Planning Board meeting is September 5th, 2024, at 6pm.

Respectfully Submitted,

Julie Edmonds

Julie Edmonds
Administrative Support Specialist

DRAFT



Request for Planning Board Action

Agenda
Item: RZ-24-08
Date: 9/5/24

Subject: Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Public meeting

Issue Statement

To review the application to rezone 606 S. Third Street from R-8 (Single, Two, and Multi-family) to O/I (Office-Institutional).

Financial Impact

None.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the zoning map amendment and to make a recommendation to the Town Council to approve or deny the request.

Recommendation

Planning Staff recommends denial of the zoning map amendment, RZ-24-08, with a statement declaring the request inconsistent with the Town of Smithfield Comprehensive Growth Management Plan, and other adopted plans, and that the request is not reasonable nor in the public interest.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
3. Consistency Statement
4. Application
5. Zoning Map



Staff Report

Agenda Item: RZ-24-08

REQUEST:

Syed Rizvi (New Vision Trust Custodian) is requesting the rezoning of 606 S. Third Street from R-8 (Single, Two, and Multi-family) to O/I (Office-Institutional).

PROPERTY LOCATION:

The property is located on South Third Street, 105 feet south of Rose Street and adjacent to the Armstrong Law Office.

SITE DATA:

Owner/Applicant: Syed Rizvi (New Vision Trust Custodian)
 Tax ID#: 15039027
 Acreage: 0.23 acres
 Present Zoning: R-8 (Single, Two, and Multi-family)
 Proposed Zoning: O/I (Office-Institutional).
 Existing Use: Detached Single-Family Residential
 Proposed Use: Office
 Town/ETJ: Town
 Fire District: Smithfield
 School Impacts: None
 Parks and Recreation: None
 Water Provider: Smithfield
 Sewer Provider: Smithfield
 Electric Provider: Smithfield

EXISTING CONDITIONS/ENVIRONMENTAL:

There are no known environmentally sensitive areas on this property.

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

| | Zoning | Existing Land Uses |
|--------------|--------------------------|------------------------------------|
| North | O/I Office Institutional | Office |
| South | R-8 | Detached Single-Family Residential |
| East | R-8 | Detached Single-Family Residential |
| West | R-8 | Detached Single-Family Residential |

COMPREHENSIVE PLAN:

- The Town Plan (comprehensive plan) guides this property for Medium Density Residential.
- The Town Plan discourages incompatible commercial uses in residential neighborhoods. The proposed rezoning is not in accordance with the comprehensive plan. If such a zoning were to be considered, it should be a conditional rezoning with a master plan.

Objective 4: Protect existing neighborhoods

Policy 4A: Discourage encroachment of incompatible commercial uses into residential neighborhoods

Strategies:

1. Limit rezonings to commercial zoning districts in Medium Density Residential Areas except as part of planned developments.

- See Non-residential Scale by Future Land Use, Table 1 on page 10 for size criteria.

2. Discourage business uses in Historic Residential Neighborhoods.

3. Consider allowances for home-based and neighborhood serving businesses, in appropriate zoning districts, that meet performance-based criteria that reduce impacts on adjacent residences.

ANALYSIS:

- The proposed rezoning represents a further intrusion of commercial use in a detached single-family residential neighborhood. The Armstrong Law Firm anchors the corner.
- The subject property does not meet the minimum lot width for property in an O/I district. (52.5 ft existing and 60 ft required).
- The existing residential structure will make accommodation of the required parking, yards/buffers, stormwater, and dumpster enclosure impossible to achieve.
- A new office building would need to be toward the rear of the lot to accommodate parking. After required setbacks, parking, yards/buffers, stormwater, and dumpster enclosure, there is little space left for construction of an office.
 - O/I setbacks: front 25', side 8', rear 15'
 - Street Yard 15', buffer from residential 20' Type B or Type C with fence.
 - Parking: 4 spaces/1000 sq. ft.
 - Dumpster enclosure
 - Possible stormwater SCM if impervious exceeds 24%.

CONSISTENCY STATEMENT (Staff Opinion):

With approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** - *The map amendment is NOT consistent with the comprehensive growth management plan.*
- **Consistency with the Unified Development Code (UDO)** – *Because of the nonconforming lot size, it is not clear whether the site can be developed in accordance with the UDO addressing landscaping, buffers, stormwater, parking, dumpster screening, etc.*
- **Compatibility with Surrounding Land Uses** – *the map amendment may result in a development that is incompatible with surrounding land uses. Because of the narrow lot width, required parking for a new building would push the building toward the back of the lot, which may be incompatible with the adjacent residential uses.*

RECOMMENDATION:

Planning Staff recommends denial of zoning map amendment, RZ-24-08, with a statement declaring the request INCONSISTENT with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is NOT reasonable NOR in the public interest.

RECOMMENDED MOTION:

“Move to recommend denial of zoning map amendment, RZ-24-08, finding it INCONSISTENT with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is NOT reasonable NOR in the public interest.”

606 S Third Street Variance

File Number:
RZ-24-08

Project Name:
606 S Third Street
Syed Rizvi

Location:
Near E Rose St &
S Third St Intersection

Tax ID#:
15039027

Existing Zoning:
R-8

Owner:
Syed Rizvi (New Vision
Trust Custodian)

Applicant:
Syed Rizvi (New Vision
Trust Custodian)



1 in = 159 ft

Map created by Chloe Allen
Planner I on 8/13/24





Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by one (1) application, one (1) required plan, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Rezone Acreage of Property: 0.23 Acres
Parcel ID Number: 15039027 Tax ID: _____
Deed Book: _____ Deed Page(s): 06414 / 0644
Address: 606 S. 3rd St Smithfield NC 27577
Location: Near downtown Smithfield

Existing Use: Residential Proposed Use: Professional Office
Existing Zoning District: R8
Requested Zoning District: O1
Is project within a Planned Development: Yes No
Planned Development District (if applicable): _____
Is project within an Overlay District: Yes No
Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Amount Paid: _____

Hi Chloe,

Attached is signed copy of Rezoning application for 606 S. 3rd St. Smithfield NC.

I have justification detail below, please add this as part of the application.

Please review and let me know if you have any questions. If all good then I will go ahead and call to pay the fees.

Rezoning Justification:

This application is related to my property 606 S 3rd Street Smithfield NC 27577 located walking distance from Smithfield downtown. There is a lawyer office next door and Church across the street.

The proposed property will be a small, quiet professional office, such as a professional offices like Tax, Law, Clinical, Medical, Therapeutic, Surveying and Law offices, . These types of businesses inherently promote public health and safety by providing essential services to the community. The design will be aesthetically pleasing and blend seamlessly with the surrounding residential properties, minimizing any visual impact. Measures will be taken to ensure that there is minimal noise and traffic, thus preserving the general welfare of the neighborhood. The office will adhere to all health and safety regulations, ensuring a safe environment for both clients and neighbors.

The proposed uses under the new district classification, such as professional offices, are suitable for the neighborhood as they are low-impact, quiet, and generate minimal traffic. These types of businesses are less intrusive than other commercial uses and align well with the existing residential character of the area. The presence of a lawyer's office next door 602 S. 3rd St property sets a precedent for professional services in the vicinity, demonstrating that such uses can coexist harmoniously with residential properties. The new uses will contribute to the local economy while maintaining the tranquil atmosphere of the neighborhood.

This property will be designed to complement the existing residential architecture, ensuring it enhances rather than detracts from the neighborhood's character. It will feature well-maintained landscaping, discreet signage, and appropriate parking facilities to avoid any inconvenience to nearby residents. The professional services provided will meet essential community needs, offering convenient access to health and financial services. This development will not only be a public necessity but also a valuable addition to the neighborhood, contributing positively to its overall character and appeal.

The proposed zoning change aligns with the Johnston County Comprehensive Land Use Plan by promoting a balanced mix of land uses that enhance the quality of life for residents. The plan advocates for the integration of professional services within residential areas to improve accessibility and convenience for the community. This rezoning will facilitate the development of a small-scale professional office that fits within the broader vision of sustainable and community-oriented growth. The change will also adhere to other adopted plans and policies that support the diversification of land use while maintaining the integrity and character of residential neighborhoods.

Thanks

Syed Rizvi

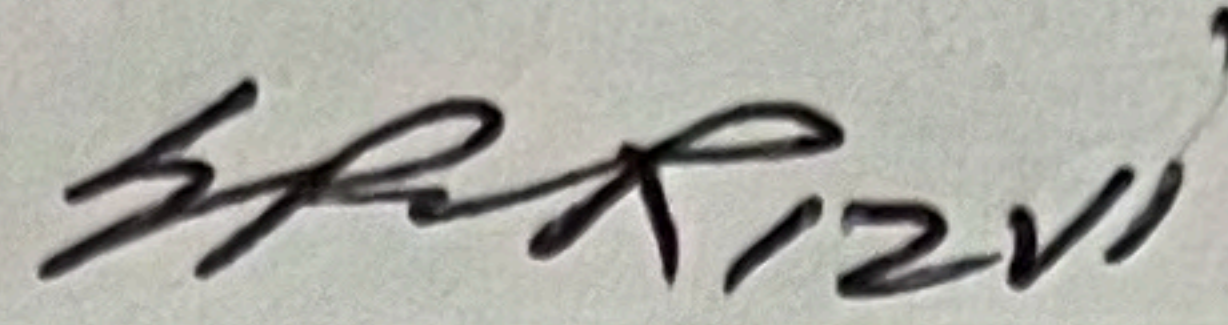
618-558-9230

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Syed Rizvi

Print Name



Signature of Applicant

07/31/2024

Date



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Rezone

Submittal Date: 07/31/2024

OWNERS AUTHORIZATION

I hereby give CONSENT to Syed Rizvi (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Sy Rizvi
 Signature of Owner

Syed Rizvi
 Print Name

07/31/2024
 Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Sy Rizvi
 Signature of Owner/Applicant

Syed Rizvi
 Print Name

07/31/2024
 Date

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Parcel ID Number: _____

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
RZ-24-08**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE IS ADOPTED,

That the final action regarding zoning map amendment RZ-24-08 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public meeting; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public meeting. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE FAILS,

That the final action regarding zoning map amendment RZ-24-08 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.

606 S Third St Syed Rizvi RZ-24-08

| Name1 | Name2 | Address1 | Address2 | CityStateZip |
|---|---------------------------------|--------------------|-------------|---------------------------|
| NEW VISION TRUST CUSTODIAN FBO SYED RIZVI IRA | | 9582 BREVARD CT NW | | CONCORD, NC 28027-8761 |
| ARMSTRONG, L LAMAR JR | ARMSTRONG, MARCIA HIGH | | P O BOX 27 | SMITHFIELD, NC 27577-0027 |
| KNIGHT, KALEY JOINT TENANTS (WROS) | WAIN, JOHN JOINT TENANTS (WROS) | 216 E ROSE ST | | SMITHFIELD, NC 27577-4430 |
| SANDERS, ARCHIE | | | PO BOX 1622 | SMITHFIELD, NC 27577-1622 |
| DURHAM & ASSOCIATES, LLC | | 902 S WALNUT DR | | SMITHFIELD, NC 27577-3732 |
| TAGALOGUIN, ZAIDA FE A. | | 302 E ROSE ST | | SMITHFIELD, NC 27577-4432 |



Request for Planning Board Action

Agenda
Item: SUP-24-03
Date: 9/5/24

Subject: Country Club Road Townhomes Special Use Permit
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Public Meeting

Issue Statement

The Planning Board is requested to review a special use permit for Country Club Road Townhomes, a 60-unit townhome development on 8.06 acres in the B-3 (Highway Entranceway Business District).

Financial Impact

The development will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the special use permit request and to provide feedback to the developer and planning staff. No recommendation is requested because the item is quasi-judicial.

Recommendation

None

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Finding of fact
3. Application and narrative
4. Site plans
5. Relevant UDO citations



Staff Report

Agenda Item: SUP-24-03

REQUEST:

Crantock Land, LLC (represented by Brian Leonard (BRL Engineering)) is requesting a special use permit for Country Club Townhomes, a 60-unit townhome development on 8.06 acres in the B-3 (Highway Entranceway Business District).

PROPERTY LOCATION:

The proposed development is located at the northwest intersection of South Brightleaf Boulevard and Country Club Road, identified by the Johnston County Tax ID#s 15J11023.

APPLICATION DATA:

| | |
|---------------------------|--|
| Applicant: | Crantock Land, LLC |
| Engineer: | Brian Leonard, BRL Engineering |
| Property Owners: | Edward E. Sutton, Jr., Kelly C. Sutton, James Keith Smith, and Edna Lynn Smith |
| Tax ID#s | 15J11023 |
| Acreage: | 9.08 or 8.026 excluding R/W |
| Present Zoning: | B-3 |
| Existing Use: | Vacant |
| Proposed Use: | Townhomes (multi-family) |
| Fire District: | Town of Smithfield |
| Parks/Recreation: | Fee in lieu of parkland dedication with subdivision |
| School Impacts: | Potentially students in schools |
| Water and Sewer Provider: | Town of Smithfield |
| Electric Provider: | Duke |
| Development Density: | 7.48 dwelling units per acre |
| Proposed Street: | 1,416 Lin. Ft. |

ADJACENT ZONING AND LAND USES:
(see attached map)

| | Zoning | Existing Land Uses |
|--------------|--------------|------------------------------------|
| North | O/I and R-10 | Commercial/Residential |
| South | N/A | N/A |
| East | R-20A | Vacant |
| West | R-10 | Detached single-family residential |

EXISTING CONDITIONS/ENVIRONMENTAL:

- The property considered for approval is located on Holts Lake. There is floodplain and a 50' Riparian Buffer.

SPECIAL USE PERMIT REQUIREMENT:

When the application was submitted, multi-family residential required a special use with supplemental standards in the B-3 Zoning District according to Article 6, Table 6.6 of the Unified Development Ordinance. The supplementary standards for multi-family are found in UDO Article 7, Section 7.35. Since application, the multi-family land use was removed from the B-3 district.

DEVELOPMENT PLAN OVERVIEW:

The developer is proposing 60 townhouse units on 8.026 acres of land on a private street with access from Country Club Road. The development consists of 12 townhouse buildings with 8 to 3 units per building. The project will be by town sewer and water. A pump station and forced main will be constructed to serve the development.

When first submitted the development was proposed with a public street and 25' front setbacks. The UDO requires front setbacks of 35' and corner side yard setbacks of 17.5' (per B-3 zoning). In response to comments, the development plans now show the street as private with front property lines extending into the street. With no public street, the setback requirement cannot be enforced.

COMPREHENSIVE PLAN/DENSITY:

The Town Plan guides this property and others nearby as a Mixed-use Center. Mixed-use Centers are described as context-appropriate commercial, office, multi-family and single-family residential uses, located near major intersections with connected streets with short block lengths and pedestrian facilities. Within a Mixed-use Center, high and density townhomes and multi-family are encouraged along with commercial uses.

- **Architecture/Building Materials.** With special use permits, the town has no authority over architecture or building materials. The project plans show 2 and 3 story townhomes with a combination of lap, board and baton and brick siding, shingle and metal roofing, and windowed side walls on end units facing the street.
- **Proposed Townhome Dimensions:**
 - **Townhouse and Townhouse Lot width.** 22' wide with single car garages, and 26 with double car garages. 7 of the 60 units will have double car garages.
 - **Townhouse depth.** Approximately 38.5 feet.
 - **Townhouse Lot depth.** 100' minimum.
 - **Notes to Typical Townhome Lots** indicate the size and building footprints may vary with final development.
- **Building Setbacks:**
 - UDO Section 8.13.1.4 requires townhouses front and corner side yards to be 35' (same as general district). The definition of Townhouse indicates only the

perimeter yard is required. The applicant's first submittal showed a public street with a 25' setbacks. Because of UDO Section 8.13.1.4, the plans were revised with a 35' setback with the properties extending into a private road.

- For multi-family developments with more than 31 units a 40' perimeter yard is required which satisfies the rear and side setbacks (UDO Section 8.13.1.4.).
- **Building Separations.** For units that are 25.1 to 30' in height, a 30' building separation is required. All proposed townhouse buildings maintain the required building separation.
- **Landscaping and Buffers.** The plans show compliance with street yard and buffer requirements.
- **Streets.**
 - The development plans label the "streets" as private drive. The definition of private drive is a roadway serving 2 or fewer lots. The "streets" are not a parking lot, so the "street" must be a private street and is required by definition to have right-of-way (see attached "Relevant UDO Citations").
 - The private streets are shown as 27'-wide, back of curb to back of curb, with a utility easements that extend over the street and over individual property lines.
 - Staff recommends a condition to eliminate the property lines over the private street and sidewalks, (resulting in a 75' deep townhouse lot with a minimum of 25' setback to the sidewalk).
 - Staff recommends a written agreement with the police department to allow the town to enforce parking on the private street and the street be signed no parking on one side.
- **Sidewalks.**
 - A 5' wide public sidewalk is shown along Country Club Road
 - A 10' wide multi-use trail is shown along S Brightleaf Boulevard and Country Club Road within an easement.
 - Sidewalks are shown on both sides of the internal private streets.
- **Trash.**
 - The developer has not provided any details for trash rollout storage, but residential trash collection is a town public service.
 - A condition of approval should be added to allow town trash trucks to trespass onto the private streets and not to be held liable for normal wear-and-tear on the streets.
- **Parking.** The site plan provides 3 parking stalls per unit and 16 overflow parking spaces, exceeding town standards. A condition to allow the police department to enforce parking on the private street should be a condition of approval to ensure emergency service vehicles can access all units.

- **Stormwater.** The site plan shows a stormwater management facility (pond) adjacent to Holts Lake. This pond is partially within the riparian buffer requiring NCDEQ approval.
- **HOA.** A homeowner's association will be required to maintain all the common areas and amenities including the parking lot, sidewalks, stormwater facility, mail kiosk, signs, landscaping, streets.
- **Utilities.** The developer is planning to install a pump station and forced main to provide service to the development. The Town will provide water and sewer. The site is within the Duke power service area.
- **Signage.** The application indicates future development identification signs will be in accordance with UDO requirements.
- **Traffic.** The amount of traffic generated by this development is below the threshold for a traffic study.

FINDING OF FACT (Staff Opinion):

The Town Council shall issue a special use permit if it has evaluated an application through a quasi-judicial process and determined that (Staff's opinion in **Bold/Italic**):

4.9.4.5.1. The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, or general welfare. ***The project will not be detrimental to or endanger the public health, safety or general welfare. The development will adhere to all Town requirements.***

4.9.4.5.2. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. ***The project will not impede the normal and orderly development and improvement of the surrounding properties. The townhomes provide a transition from commercial uses to the existing detached single family uses. Townhouses in and adjacent to mixed use centers are encouraged in the Town Plan.***

4.9.4.5.3. Adequate utilities, drainage, parking, or necessary facilities have been or are being provided. ***The development will provide adequate utilities, drainage, parking and necessary facilities. For this project to proceed, the developer will extend a forced main and construct a pump station.***

4.9.4.5.4. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas. ***The use will not create such nuisances.***

4.9.4.5.5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. ***Proper ingress and egress will be provided with a single access road onto Country Club Road that meets Town of Smithfield standards.***

4.9.4.5.6. That the use will not adversely affect the use or any physical attribute of adjoining or abutting property. ***The use will have no adverse impacts on the abutting***

or adjoining properties. The adjacent properties are residential, and the townhouse development will provide a 40-foot perimeter buffer with landscaping.

4.9.4.5.7. That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located. **The proposed townhomes will be complementary and in harmony with the adjacent homes. The architectural style will blend well and dormers will break up the scale of the buildings.**

4.9.4.5.8. The special use shall, in all other respects, conform to all the applicable regulations of the district in which it is located. **The special use will meet all applicable regulations.**

RECOMMENDATION TO TOWN COUNCIL:

Planning Staff recommends approval of SUP-24-03 with the following conditions:

1. That an agreement be in place or within the HOA documents that permit Town trash vehicles to trespass onto the private road for trash collection without liability for normal wear and tear.
2. There shall be a homeowner's association to own and maintain all common amenities such as the parking lot, sidewalks, landscaping, mail kiosk, and stormwater management facility.
3. That a written agreement to allow the town police department to enforce parking on the private street and the street be signed no parking on one side.
4. That NCDEQ approval be obtained for the stormwater management facility within the riparian buffer.

RECOMMENDED MOTION:

None.

Country Club Townhome SUP

File Number:
SUP-24-03

Project Name:
Country Club TH

Location:
Country Club Road

Tax ID#:
15J11023

Existing Zoning:
B-3

Owner:
Edward & Kelly Sutton
James & Edna Smith

Applicant:
Brian Leonard
BRL Engineering



1 in = 208 ft

Map created by Chloe Allen
Planner I on 8/12/24



Relevant UDO Citations

8.13.1. Multi-Family Dwellings.

8.13.1.1. Density. Maximum allowable density shall not exceed four thousand five hundred (4,500) square feet of gross site area per dwelling unit.

8.13.1.2. Building Separation. More than one (1) building may be located on the site provided that building separation shall be determined as follows:

| Height of Taller Building | Minimum Horizontal Distance Between Vertical Projections |
|----------------------------------|---|
| 20 feet or less | 16 feet |
| Between 20.1 and 25.0 feet | 25 feet |
| Between 25.1 and 30.0 feet | 30 feet |
| Between 30.1 and 35.0 feet | 40 feet |

8.13.1.3. Distance Related to Windows. The minimum distance between the centers of facing windows shall be twenty (20) feet.

8.13.1.4. Yard Requirements. Front Yard—general district setback shall apply; Corner Side Yard—same as front yard; Other Yards—a perimeter yard shall be provided around the perimeter of the site (other than front and corner side yards) in accordance with the following based on the number of units proposed.

| Number of Units | Width of Required Yard |
|------------------------|-------------------------------|
| 3 to 10 units | 30 feet |
| 11 to 30 units | 35 feet |
| 31 or more units | 40 feet |

10.110.2. Private Streets.

10.110.2.1. Streets designated as private may be allowed in subdivisions when in the opinion of the Town Council they provide adequate ingress and egress onto collector streets, and sufficient assurance is provided through a legally established Homeowners' association, that the street shall be properly maintained.

10.110.2.2. All such streets shall be designated a "private street" on the preliminary plans and final plats. Whenever a private street intersects a U.S. or North Carolina highway or North Carolina secondary road, a statement of approval for the intersection, signed by the District Engineer, North Carolina Department of Transportation, Division of Highways for Johnston County, shall be submitted concurrent with the final plat.

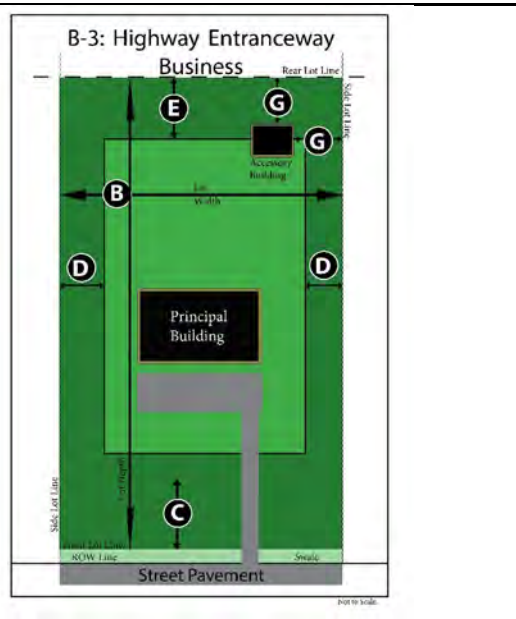
10.110.2.3. All private streets must meet Department of Transportation standards for construction and maintenance.


10.110.2.4. A Homeowners' association shall be established for each subdivision containing private streets and drainage systems. The final plat for each such subdivision shall contain a certificate indicating the book and page number of the Homeowners' association covenants, conditions, and restrictions. The covenants, conditions, and restrictions shall specify lot owners' responsibilities for maintenance of private streets and drainage systems, and shall provide for assessments to finance all maintenance activities. Covenants shall provide that the Homeowners' association will construct all stub streets prior to offering any connecting for acceptance by NCDOT or the town. Final plats for subdivisions containing private streets and drainage improvements will not be approved until the subdivider's homeowners' association documents have been submitted and approved by the Town Council.

Sec. 8.9. B-3 Highway Entranceway Business District.

8.9.1. Dimensional Requirements.

| | |
|---|---|
| <p>(A) Minimum Lot Area</p> <ul style="list-style-type: none"> • Major shopping center • Minor shopping center • Other building or use | <p>12,000 sq ft 12,000 sq ft 12,000 sq ft</p> |
| <p>(B) Minimum Lot Frontage</p> <ul style="list-style-type: none"> • Major shopping center • Minor shopping center • Other building or use | <p>200 lin ft 125 lin ft 125 lin ft</p> |
| <p>(C) Front Yard Setback</p> <ul style="list-style-type: none"> • Major shopping center • Minor shopping center • Other building or use | <p>100/50 ft (see Sec. 8.9.2.1) 50/35 ft (see Sec. 8.9.2.2) 50/35 ft (see Sec. 8.9.2.2)</p> |
| <p>(D) Side Yard Setback</p> <ul style="list-style-type: none"> • Major shopping center • Minor shopping center • Other building or use | <p>50 ft 15 ft (see Sec. 8.8.2.3) 8 ft (see Sec. 8.8.2.3)</p> |
| <p>(E) Rear Yard Setback</p> <ul style="list-style-type: none"> • Major shopping center | <p>50 ft</p> |



| | | |
|--|-------------------------|--|
| <ul style="list-style-type: none"> • Minor shopping center • Other building or use | 25 ft 25 ft | |
| (F) Maximum Building Height | 40 ft (see Sec. 8.13.6) | |
| (G) Accessory Buildings Setback | 10 ft (see Sec. 8.13.2) | |
|  | | |

(Ord. No. ZA-22-03, pt. 1, 11-1-22)

8.9.2. Minimum Yard Requirements.

8.9.2.1. One hundred (100) feet whenever front or corner side yard frontage is on an arterial or collector street; fifty (50) feet when frontage is on a lower street classification.

8.9.2.2. Fifty (50) feet whenever front or corner side yard frontage is on an arterial or collector street; thirty-five (35) feet when frontage is on a lower street classification.

8.9.2.3. None required, provided however, that if a side yard is provided, it shall be at least eight (8) feet wide.

8.9.3. Additional Requirements.

Refer to Section 8.13, Notes to Zoning District Development Standards.

8.9.4. Signs.

Signs shall be permitted as provided in Article 10, Part III.

8.9.5. Parking and Loading.

Off-street parking and loading shall be provided, as required by Article 10, Part I.

8.9.6. Buffers.

Refer to Article 10, Part II.

8.9.7. Landscaping.

For landscaping requirements, refer to Article 10, Part II.

Appendix A – Definitions

Driveway. That portion of the vehicle accommodation area that consists of a travel lane bounded on either side by an area that is not part of the vehicle accommodation area.

Multifamily development. A single building on a single lot or tract containing more than two (2) dwelling units.

Private driveway. A roadway serving two (2) or fewer lots, building sites, or other division of land, and not intended to be public ingress or egress.

Private street. An undedicated private right-of-way which affords access to abutting properties and requires a subdivision streets disclosure statement in accordance with G.S. § 136-102.6.

Setback. The minimum required distance existing between the abutting street right-of-way line (if no street right-of-way line is involved, the subject property line) and the minimum building line as specified in Article 8, Zoning District Development Standards.

Local road. A street whose sole function is to provide access to abutting properties. It is designed to carry more than one hundred fifty (150) but less than five hundred (500) trips per day. Typically, a local road is able to serve, directly or indirectly, between fifteen (15) and fifty (50) dwelling units.

Townhouse. A principal structure containing two (2) or more single-family attached dwelling units with each unit on its own individual lot. All townhouse developments shall be subject to multiple family dwelling provisions of this chapter, with the following exceptions:

(1) All townhouse developments shall comply with the multiple family density requirements of Article 8 of this ordinance; this standard can be met by individual lot area, by provision of common open space, or by a combination of lot area and common open space.

(2) No unit shall be connected on more than two (2) sides by common walls.

(3) All yard dimensional requirements shall apply to the property lines of the entire development. No individual unit shall be required to meet the yard dimensions.

Dwelling, two family (duplex). A detached residential building containing two (2) dwelling units, designed for occupancy by not more than two (2) families. Units must share a common wall.

BRL ENGINEERING & SURVEYING

112 East Johnston Street
Smithfield, NC 27577
(919) 989-9300 (Office)
(919) 631-6934 (Field)

Providing Surveying & Civil Engineering Services

brlengineering@earthlink.net

Brian R. Leonard, PE, PLS
Sauyer R. Roberts, EI

Transmittal

BRL

| | | | |
|-------------------------|---|---------------------|------------------------------|
| To: | Stephen Wensman | From: | Brian R. Leonard, PE, PLS |
| | 350 East Market Street (Physical) | | |
| Address: | Smithfield, NC 27577 | Attachments: | Documents as Indicated Below |
| Delivery Method: | Hand-Delivered by Brian Leonard | Date: | 8/2/24 |
| | Country Club Road Townhomes – Special Use & Preliminary Plan | | |
| Re: | Submittal | CC: | None |

For Information & Review Only
 For Review and Approval
 Urgent

Comments:

Stephen,

We are hereby submitting documents for a Special Use Permit and Preliminary Site Plan, to be scheduled for the next available cycle of Planning Board & Town Council meetings (September I believe). As we have already discussed, this project is a proposed multi-family townhome development at the intersection of US 301 and Country Club Road and backs up directly to Holts Lake. We are transmitting the following...

- Completed Application Form with Findings of Fact Attachment Sheets – 1 copy, Signed by Owner (Keith Smith) & Applicant (Lanny Clifton, Agent for Crantock, LLC)
- Application Fee - \$400.00 (Current Fee)
- Preliminary Site Plan – 7 copy sets of Preliminary Plan, Full-Size 24"X36" Folded
- Preliminary Stormwater Management Statement – 2 copies

Please feel free to contact me with any questions.





Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

SPECIAL USE PERMIT APPLICATION

Pursuant to Article 4, of the Town of Smithfield Unified Development Ordinance, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to allow a Special Use. Special Uses are uses that may be appropriate in a particular district, but has the potential to create incompatibilities with adjacent uses.

Special Use Permit applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans and one (1) digital copy of all required documents, an Owner's Consent Form (attached) and the application fee.

SITE INFORMATION:

Name of Project: Country Club Road Townhomes (Prelim) **Acreage of Property:** 9.080 Ac. (Total); 8.026 Ac. (Clear of R/W)
Parcel ID Number: 168210-36-1843 **Tax ID:** 15J11023
Deed Book: 3192 **Deed Page(s):** 134 - 136
Address: No address assigned
Location: Subject property is located on the corner at the intersection of Country Club Road (SR 1345) and US 301

Existing Use: Vacant **Proposed Use:** Residential/Townhomes
Existing Zoning District: B-3

Is project within a Planned Development: Yes No
Planned Development District (if applicable): N/A
Is project within an Overlay District: Yes No
Overlay District (if applicable): N/A

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

OWNER INFORMATION:

Name: Edward E. Sutton, Jr; Kelly C. Sutton; James Keith Smith; Edna Lynn Smith

Mailing Address: 150 Autumn Drive, Four Oaks, NC 27524

Phone Number: 919 730-7692

Fax:

Email Address: keithsmithfarms@aol.com

APPLICANT INFORMATION:

Applicant: Crantock Land, LLC

Mailing Address: 5160 NC Highway 42 West, Garner, NC 27529

Phone Number: 919 971-5353

Fax:

Contact Person: Lanny Clifton

Email Address: lannycliftonbuilder@gmail.com

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

This project is located at the intersection of US 301 (an arterial connector between Smithfield and Four Oaks) and Country Club Road (a local residential road with access to the Johnston County Country Club). The property is zoned B-3 and is situated adjacent, eastward from R-10 (existing single-family residential subdivision); and across Country Club Road, southward from R-10 (existing single-family) and O&I (vacant & existing office uses); and across US 301, westward from B-3 (existing business) and R-20A (vacant). Generally speaking, the property is surrounded by a mix of residential and commercial zoning and uses. This is consistent with the Town's Land Use Plan and Growth Management Plan which identifies this tract and surrounding parcels as a "Mixed Use Center". The Town Plan goes on to describe Mixed Use Centers as "...commercial centers mixed with multi-family and (possibly) single-family residential." The proposed use as laid out according to the attached Preliminary Site Plan will be multi-family townhome units. The proposed townhome use fits perfectly within the definition of Mixed Use Center as this area has been designated. Other more intense commercial uses are allowed within the B-3 zoning district; however, we believe that multi-family residential is a more natural transition between the adjacent single-family zoning/uses and the surrounding commercial zoning/uses; AND that multi-family residential is a more appropriate highest and best use for this property.

The plan as proposed intends to meet the Findings of Fact as described below and has been laid out to meet the current requirements, standards and regulations of the Town of Smithfield. All other local, state or federal regulations shall be addressed and followed as construction drawings are prepared and developed.

REQUIRED FINDING OF FACT

Article 4 of the Town of Smithfield Unified Development Ordinance requires applications for a Special Use Permit to address the following findings. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which this section requires. The Town Council shall issue a special use permit if it has evaluated an application through a quasi-judicial process and determined that:

- 1) The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, or general welfare.
(See Findings of Fact Attachment Sheet)

- 2) The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
(See Findings of Fact Attachment Sheet)

- 3) Adequate utilities, drainage, parking, or necessary facilities have been or are being provided
(See Findings of Fact Attachment Sheet)

- 4) The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.
(See Findings of Fact Attachment Sheet)

- 5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
(See Findings of Fact Attachment Sheet)

- 6) That the use will not adversely affect the use or any physical attribute of adjoining or abutting property.
(See Findings of Fact Attachment Sheet)

- 7) That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located.
(See Findings of Fact Attachment Sheet)

- 8) The special use shall, in all other respects, conform to all the applicable regulations of the district in which it is located.
(See Findings of Fact Attachment Sheet)

REQUIRED SITE PLAN INFORMATION

Article 5 of the Town of Smithfield Unified Development Ordinance requires a site plan be prepared by a professional engineer, registered land surveyor, or licensed architect and shall be drawn to scale of not less than one inch equals 30 feet. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan. The site plan shall contain the following information, if applicable as determined by the UDO Administrator:

- 1) A key map of the site with reference to surrounding areas and existing street locations.
- 2) The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records.
- 3) Parcel Identification Numbers (PIN) for site and adjacent properties.
- 4) Deed book and page reference demonstrating ownership of property.
- 5) Location of all existing and proposed structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- 6) Building setback, side line, and rear yard distances.
- 7) Location of watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- 8) All existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level, and significant soil conditions.
- 9) Topography showing existing and proposed contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- 10) The zoning of the property, including zoning district lines where applicable.
- 11) Lot line dimensions and property lines of the tract to be developed (with dimensions identified), adjacent property lines (including corporate limits, Town boundaries, and county lines).
- 12) Parking, loading, and unloading areas shall be indicated with dimensions, traffic patterns, access aisles, and curb radii per the requirements of Article 10, Part I.
- 13) Types of surfaces for drives, sidewalks, and parking areas.
- 14) Location and design of existing and proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.
- 15) Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- 16) Location of all US Clean Water Act Section 404 wetland areas, located of detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- 17) The location of all common areas.
- 18) The location and dimensions of all areas intended as usable open space, including all recreational areas. The plans shall clearly indicate whether such open space areas are intended to be offered for dedication to public use or to remain privately owned.
- 19) Landscaping and buffering plan showing what will remain and what will be planted, indicating names of plants, trees, and dimensions, approximate time of planting, and maintenance plans per the requirements of Article 10, Part II. The plan shall include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name.
- 20) Proposed site lighting.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject Special Use Permit. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Lanny Clifton (Agent for Crantock Land, LLC)

Print Name

Lanny Clifton 8-1-24
Signature of Applicant Date

OWNER'S CONSENT FORM

Name of Project: Country Club Road Townhomes Submittal Date: 8/1/24

OWNERS AUTHORIZATION

I hereby give CONSENT to BRL Engineering & Surveying (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Keith Smith Keith Smith 8-1-24
Signature of Owner *Print Name* *Date*

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Lanny K. Afton LANNY K. AFTON 8-1-24
Signature of Owner/Applicant *Print Name* *Date*

FOR OFFICE USE ONLY

File Number: _____ Date submitted: _____ Date received: _____

SPECIAL USE PERMIT - FINDINGS OF FACT ATTACHMENT SHEET

for

COUNTRY CLUB ROAD TOWNHOMES (Preliminary Site Plan)

- 1) *The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, or general welfare.*

The plan will be required to meet all applicable standards, regulations & codes which are in place to help ensure that NO detrimental impacts or dangers are incurred. Concerns related to the environment, stormwater, traffic, etc. are either addressed directly on the attached Preliminary Site Plan, or shall be addressed with future submittal of construction drawings, all prior to any construction taking place (some of these concerns are also addressed below). All applicable regulations shall be met or exceeded by the proposed development.

- 2) *The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*

The proposed townhomes are a natural transition between existing, surrounding residential zoning/uses and commercial zoning/uses. Furthermore, this area is designated as a "Mixed Use Center" as defined in the Town's Land Use Plan which recommends this area to be "...commercial centers mixed with multi-family and (possibly) single-family residential." So, the proposed townhomes "fit" this recommendation precisely. More intense uses are certainly allowed within the current B-3 zoning; however, we believe townhomes present a more logical transition and less intense use compared to other possible and allowable uses in the B-3 zoning district.

- 3) *Adequate utilities, drainage, parking, or necessary facilities have been or are being provided.*

Regarding drainage, a network of standard inlets and pipes will be installed within the streets to convey on-site runoff toward a designed/engineered stormwater pond, all in accordance with Town standards and regulations. The proposed stormwater pond is also indicated on the Preliminary Site Plan. Regarding utilities, both water and sewer (including a proposed pump station) are also indicated on the Preliminary Site Plan, in accordance with Town standards and regulations. Regarding parking, on-site driveways have been widened in front of the front-loading garages on each lot to provide at least 2-car on-site parking "outside" of the unit, PLUS an additional space "inside" the garage (3 total spaces on each lot). Additional parking and overflow parking is also provided in the center of the site dedicated for active open space, temporary access to mail kiosks, and for potential overflow event parking. Any other facilities as required shall be designed to meet all applicable codes and regulations.

- 4) *The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.*

The townhome use does not propose any known sources of such nuisances. Such nuisances would generally be attributed to more intense commercial or industrial uses and not generally associated with a multi-family townhome project.

- 5) *Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*

A single drive entrance is proposed from the townhome project onto Country Club Road (SR 1345). Because the entrance will connect to an existing NCDOT road, all requirements for an NCDOT driveway connection and permit must be met (including requirements for sight distance, drainage and safe traffic movements). Although preliminary investigations do not indicate that special road improvements will be necessary, the NCDOT reserves the right to require improvements as final construction drawings are developed and permits are requested.

- 6) *That the use will not adversely affect the use or any physical attribute of adjoining or abutting property*

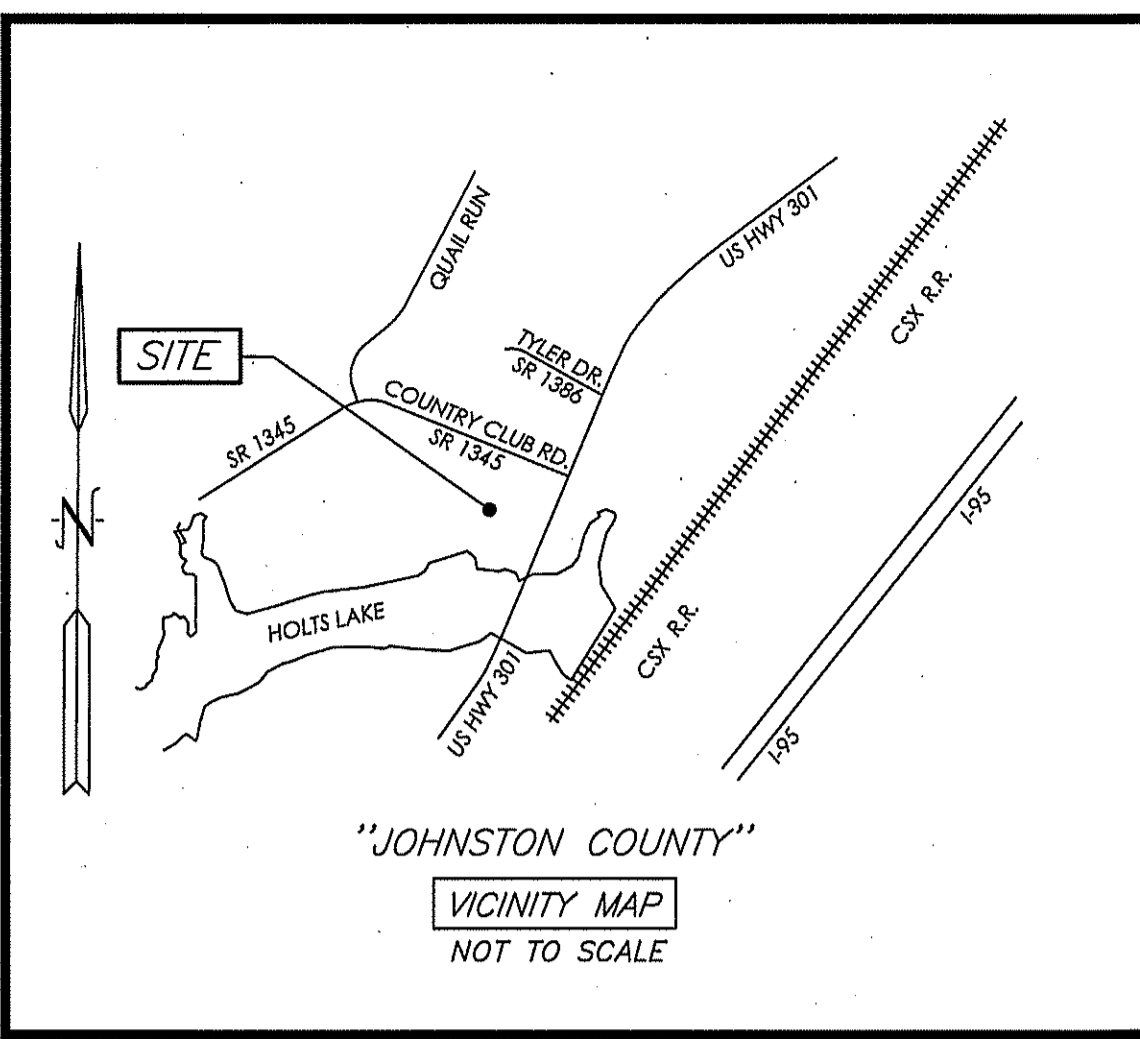
The project is bordered by Country Club Road along the north and US 301 along the east (both NCDOT roads), and it is bordered by Holts Lake along the south. This leaves only the existing Lakeside subdivision bordered on the west of the property as a potential area for adjacent property impacts. It appears only 4 lots from the subdivision back up to the common line with the project. This common/shared line with the subdivision is defined by an existing, mostly dry ditch bed for drainage. It is anticipated that the final grading plan for the project will direct runoff from the townhomes back toward the proposed streets internal to the project, thereby reducing impact of runoff toward this ditch feature. Any drainage from the development toward this ditch will be analyzed for flow capacity and velocity according to current erosion control standards and best engineering practices. Additionally, a Type A landscape buffer is required along this side and is indicated on the Preliminary Site Plan. The landscape buffer will be in addition to existing vegetation which shall be preserved to the maximum extent possible near the property line, creating a visual barrier between the adjacent properties.

- 7) *That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located*

It has already been stated that this plan is consistent with the Town's definition of future land use for this site and surrounding properties (ref: Finding of Fact #2 above). Furthermore, the townhomes will be located between existing single-family uses to west and existing commercial/future-zoned-commercial to the east at the intersection of Country Club Road and US 301. Therefore, the multi-family townhomes present a logical transition between the single-family residential uses and the office/commercial uses & zoning (from west to east).

- 8) *The special use shall, in all other respects, conform to all the applicable regulations of the district in which it is located.*

As mentioned already in several responses above, this project is required to meet, and shall conform to, all applicable federal, state and local regulations as required. This applies throughout the entire cycle and processes of the project, from this Preliminary Site Plan for Special Use permitting, to design of detailed/engineered Construction Drawings, to actual construction and project close out. Numerous agency reviews and inspections at various levels helps to ensure the project meets all regulations from beginning to end of the project.



SITE INFORMATION FOR TOWN OF SMITHFIELD
 Proposed Project Name: COUNTRY CLUB ROAD TOWNHOMES
 Current Property Owner of Record: EDWARD E. SUTTON JR. & KELLY C. SUTTON AND JAMES KEITH SMITH & EDNA LYNN JOHNSON SMITH
 Developer/Applicant: CRANTOCK LAND, LLC
 Zoning: B-3 (Town of Smithfield)
 Existing Use: UNDEVELOPED - WOODLAND
 Proposed Use: RESIDENTIAL MULTI-FAMILY (TOWNHOMES)
 Electricity Provider: TOWN OF SMITHFIELD
 Other Known Utility/Telephone Providers (not limited to): CENTURY LINK; SPECTRUM; AT&T

EXISTING PROPERTY/BOUNDARY INFO:
 Total Boundary Area = 9.080 AC (By Recorded Survey - Ref. PG 62, PG 275)
 Area in Existing Town/NCDDOT R/W = 1.054 AC (in Exist NCDOT R/W)
 Area in AdJut Dedicated or Reserved Town/NCDDOT R/W = 0.0 AC
 Net Usable/Buildable Site Area = 8.026 AC +/- (Clear of Existing & Dedicated R/W)

LOT & ZONING REQUIREMENTS AND SITE CALCULATIONS:
Site-Specific Town Zoning Requirements:
 MIN Lot Size: 12,000 sq. ft. (B-3 Zoning Ref. UDO 8.9.1) - Min Total Site Area
 MIN Lot Width: N/A for Townhomes (Ref. UDO 7.35.2 & 8.1.3, for specific Townhome Requirements)
 MAX Lot/Unit Density per Acre: 9.68 Units/Acre (43,560 sq. ft. / 4,500 sq. ft. per Unit) (Ref. UDO 8.13.1.1)
 MAX Number of Lots/Units: 78 Units (8,026 AC "Gross Site Area" X 9.68 Units/Acre)
 MAX Impervious on Lots per Zoning: N/A (See Stormwater Info)
 MIN Building Setback Lines: See MBSL Table Below
 MIN "Perimeter" Yard Width (excludes Front Yard) for Townhomes: 40'-4" (Ref. UDO 8.13.1.4 for "31 or more" units)
 MIN Distance Between Buildings for Townhomes: 40'-4" (Ref. UDO 8.13.1.2 for "30" to 35.0 ft max bldg. height)
 MIN Area in Active Open Space: 3,300 sq. ft. +/- (50 sq. ft. per Unit After First 10 Units) X 50 Units (10,000 Max Total & 600 min for Play Area) (Ref. UDO 7.35.1.5)
 MIN Area in Other/Passive Open Space: None
 MIN Parking Spaces: 105 spaces (1.75 Spaces/Unit X 60 Units) (Ref. UDO 10.3)
 MIN Handicap Parking Spaces: 1 (1 per every 25 spaces) - (for public/internal parking lot only) (N/A on Townhome lots)

Proposed Site Areas:
 Proposed Area in Residential Lots: 2,328 AC +/- (See Avg Lot Size Calc.)
 Proposed Area in Internal Street R/W: 1.126 AC +/-
 Proposed Area in Active Open Space/HOA: 0.260 AC +/- (3,365 sq. ft. Playground; 7,950 sq. ft. Recreation Area)
 Proposed Area in Other/Passive Open Space/HOA: 3.845 AC +/- (Includes Parking & Vehicular Areas)
 Proposed Area in Other/Non-Residential Lots: 0.065 AC +/- (Town Pump Station)
 Proposed Other Areas (Not for Lots): 0.000 AC
 Total Site/Development Area: 8.026 AC

Proposed Site Calculations:
 Proposed Number of Lots: 80 Townhome Units (-78 Max Allowed-Above)
 Proposed Density: 7.48 Units/Acre (80 Units/8.026 "Gross Site Area" - Rounded) (-9.68 Max Allowed-Above)
 Proposed Average Lot Size: 1,890 sq. ft. +/- (-No min or max)
 Proposed Minimum Lot Size: 1,890 sq. ft. +/- (-No min or max)
 Proposed Parking Spaces: 196 (3 spaces each unit x 60 units + 16 overflow parking) (-105 Min Req'd-Above)
 Proposed Handicap Parking Spaces: 2 (-1 Min Req'd-Above - for public/internal parking lot only)

INTERNAL STREET INFO:
 Proposed Linear Footage of Public Streets: 1,416 LF
 Proposed Area in Pavement (Street/Vehicular Impervious): 65,509 sq. ft. +/- (1,458 AC)
 Proposed Area in Right-of-Way: 66,579 sq. ft. +/- (1,528 AC)
 Proposed Street Type: Town of Smithfield
 Proposed Street Design Standard: Town of Smithfield

WATER & SEWER INFO:
 Proposed Water: Public Water System Extension (Town Water)
 Proposed Sewer: Public Sewer System Extension (Town Sewer - Gravity, Pump Station & Forcemain)

STORMWATER INFO:
 Town of Smithfield stormwater regulations shall apply to this site which includes Neuse Basin Nutrient Stormwater Regulations of 15A NCAC 02B.0711 / Town UDO Sect. 10.50 AND 15A NCAC 02B.0620 / Town UDO Sect. 10.92. Additional, state stormwater requirements may still apply (ie. 404/401 permits) when applicable.
 The following is a summary of Site Impervious, Nitrogen, and other Stormwater requirements for this Plan...

NET AREA FOR STORMWATER: 8.026 AC +/- (See Site Info/Data Hereon)

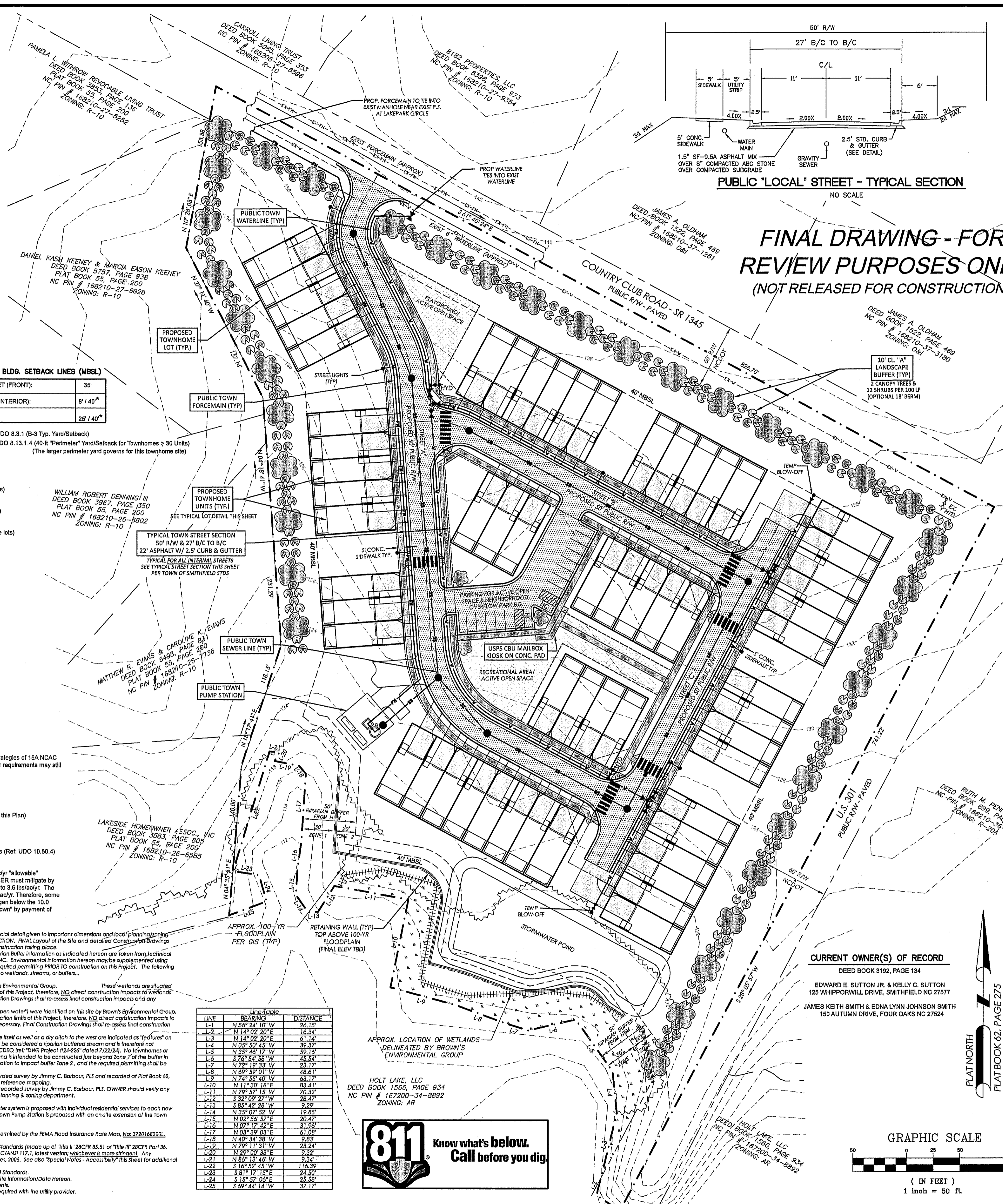
IMPERVIOUS: 2,027 Ac. (1,875 sq. ft. per double unit; 1,440 sq. ft. per single unit - per lot this plan + 1,735 Ac. for Streets & Vehicular Areas (incl. Parking, Vehicular AND Sidewalk - Conserv. for this Plan) + 1,102 Ac. for Additional/Extra (incl. Open Space, Pump Station, etc.)
 3,882 Ac Total Impervious

IMPERVIOUS %: 48.1% (3,882 AC Impervious / 8,026 AC Net Site)

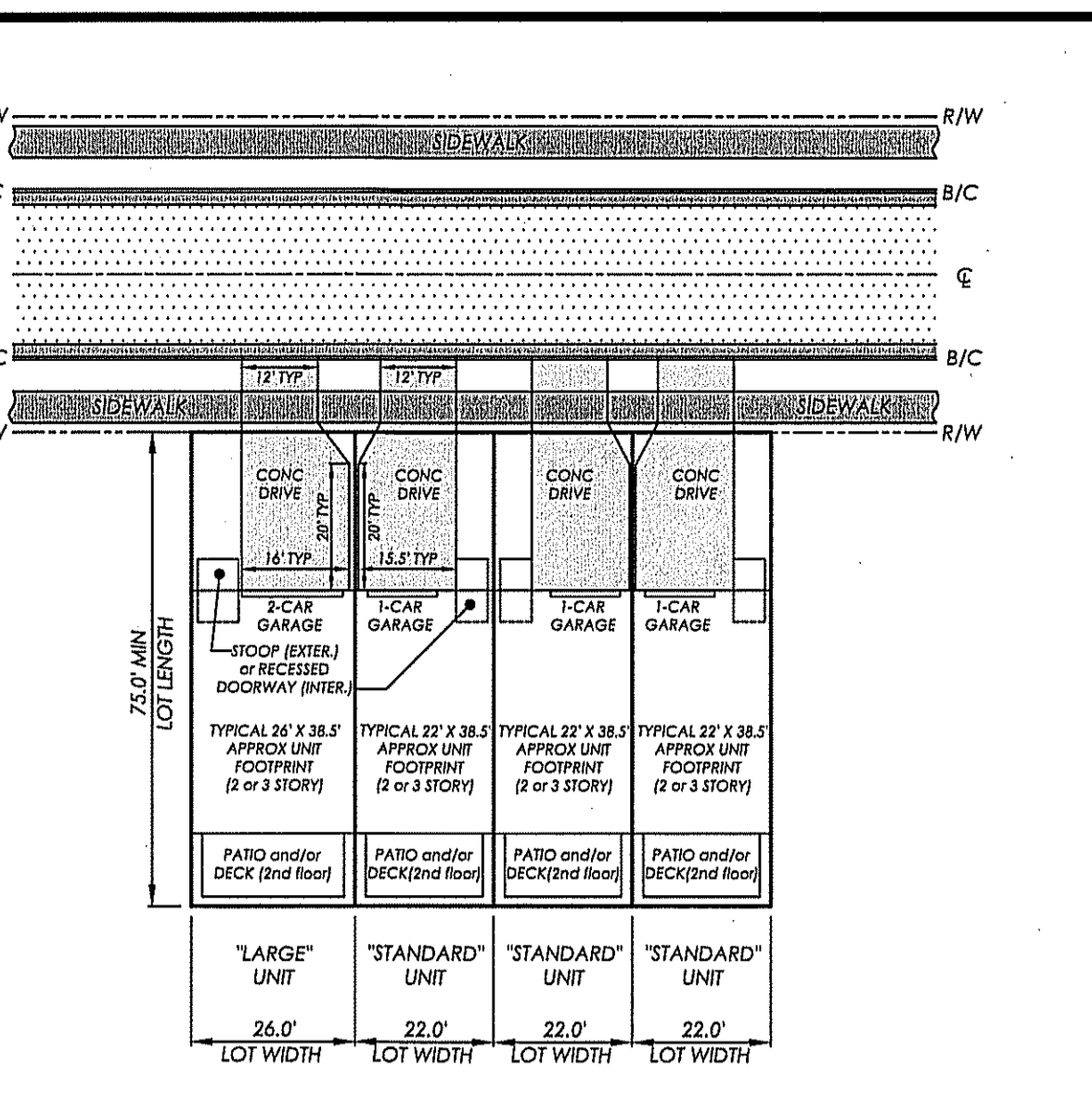
HIGH/LOW DENSITY & SCMs: Because Project Impervious > 24%, Project is considered "High-Density". Therefore, SCMs (Stormwater Control Measures) ARE required based on Impervious (Ref. UDO 10.50.4). See Section below for additional Nitrogen requirements...

NITROGEN LOADINGS: 10.785 lbs/ac/yr
 Nitrogen Mitigation or Reduction is required on sites exceeding 3.6 lbs/acre "allowable" threshold. This site exceeds the 3.6 allowable. The OWNER/DEVELOPER must mitigate by either "Treatment using SCM" or "Burying Down" the remaining nitrogen to 3.6 lbs/ac/yr. The site also slightly exceeds the maximum "bury-down" threshold of 10.0 lbs/ac/yr. Therefore, some minimal nitrogen "treatment" at the SCM will be required to reduce nitrogen below the 10.0 lbs/ac/yr threshold, AND THEN the remaining nitrogen may be "bought-down" by payment of the required mitigation fee.

SPECIAL ADDITIONAL NOTES FOR PRELIMINARY SITE/TOWNHOME PLANS:
 1. Purpose: The purpose of this Preliminary Site/Townhome Plan is to depict a PRELIMINARY overall layout of the Project with special detail given to important dimensions and local planning/zoning requirements, in order to obtain a Special Use Approval from the Town of Smithfield. This Drawing is NOT FOR CONSTRUCTION. Final Layout of the site and detailed Construction Drawings shall be prepared later and re-submitted to the Town and all other agencies for construction approvals, prior to any construction taking place.
 2. Environmental Areas (Wetlands, Riparian Buffers, Wetlands, Jurisdictional Streams and Riparian Buffers) Information as Indicated hereon are taken from technical field determinations and delineations by Wyatt Brown, Licensed soil scientist, of Brown Environmental Group in Selma, NC. Environmental information hereon may be supplemented using available maps, records or field surveys. CONTRACTOR shall contact OWNER and/or Project Engineer regarding any required permitting PRIOR TO construction on this Project. The following Federal, State, or local regulatory, verification, or other standards, are pending, or shall be made, related to wetlands, streams, or buffers...
 3. Wetlands: as shown hereon are taken from a preliminary field delineation and approximate GPS location by Brown Environmental Group. These wetlands are situated along the lot lines and within the state wetland buffer which apply to the site of this Project. They are not direct construction impacts but are adjacent to areas that appear to be impacted by this Preliminary Plan, and no additional permitting appears to be necessary. Final Construction Drawings shall re-assess final construction impacts and any permitting as required.
 4. JURISDICTIONAL STREAMS (or Waters of the US) in the form of "perennial" or "intermittent" streams (and sometimes "open water") were identified on this site by Brown Environmental Group. The only stream identified was the open water of Hous Lake which appears to be outside of the construction limits of this Project, therefore, NO direct construction impacts to streams or open water appear to be impacted by this Preliminary Plan, and no additional permitting appears to be necessary. Final Construction Drawings shall re-assess final construction impacts and any permitting as required.
 5. STREAM BUFFERS: This parcel of land is located in a basin that may be subject to Riparian Stream Buffers. The lake itself as well as a dry ditch to the west are indicated as "features" on either the County Soils Map or the USGS Quaternary Map. The stream to the west was determined to NOT be considered a riparian buffered stream and is therefore not indicated on this Preliminary Plan. This determination was made by Brown Environmental Group and confirmed by NCEQ (ref. "DWR Project 1824-236" dated 7/22/24). No townhomes or other public infrastructure impacts the buffer of the lake, however a retaining wall is indicated on this Preliminary Plan and is intended to be constructed just beyond zone 1 of the buffer in order to elevate future lots above the 100-year floodplain or other major flood events. The retaining wall will require authorization to impact buffer zone 2, and the required permitting shall be sought with development of Final Construction Drawings.
 6. Property Boundary, Existing Conditions and Topography: Property boundary as indicated hereon is taken from a 5/12/03 recorded survey by Jimmy C. Barbour, PLS and recorded of Plat Book 62, Page 275. Site features, and topography as indicated hereon are taken from Johnson County GIS and other available reference mapping.
 7. Existing Street Right-of-Way, Easement Right of Way Information hereon is taken from survey information from the 5/12/03 recorded survey by Jimmy C. Barbour, PLS. OWNER shall verify any and all Rights-of-Way with NCDOT or local municipality, and verify any local setbacks from Right-of-Way with the local planning & zoning department.
 8. Existing Utilities: Existing utilities indicated hereon are taken from Johnson County GIS and other available reference mapping.
 9. Public (Town) Water/Sewer Extensions & Services: Public (Town) water is available at this site, and an extension of the Town water system is proposed with individual residential services to each new residential lot and capacity for fire protection. Public (Town) sewer is not directly available at this site; therefore, a new Town Pump Station is proposed with an on-site extension of the town sewer system and with individual residential services to each new residential lot.
 10. Soils for On-Site Septic Systems: N/A.
 11. Floodplains: This site or property DOES graphically appear to be in an area of special flood hazard or 100-year floodplain as determined by the FEMA Flood Insurance Rate Map, No. 22021616000, Effective Date: JUNE 20, 2016.
 12. Accessibility Standards: Any construction for handicap accessibility related to this plan shall conform to ADA Regulations, 2010 Standards (made up of "Title III" 28CFR 35.1 or "Title II" 28CFR Part 36, Subpart D, or applicable plus 2004 ADAAG of 28CFR Part 119), appendices B&C with CCA/ANSI 17.1, in total with whatever is more stringent. Any accessible construction related to transportation facilities shall conform to UDOT ADA Standards for Transportation Facilities, 2006. See also "Special Notes - Accessibility" this sheet for additional information.
 13. Construction Standards: Waterline & Sewer System: Per Town of Smithfield Utility Standards, Streets: Per NCDOT/Town of Smithfield Standards.
 14. Open Space: Open space is provided in accordance with Town of Smithfield requirements for Townhome development. See the Information/Data Hereon.
 15. Subdivision Development Signs and Landscaping: Owner and/or Contractor shall design and install signs and landscaping in accordance with Town signage requirements.
 16. Utility Relocations: Owner/Developer shall coordinate relocation of existing overhead lines and any other utility relocations as required with the utility provider.

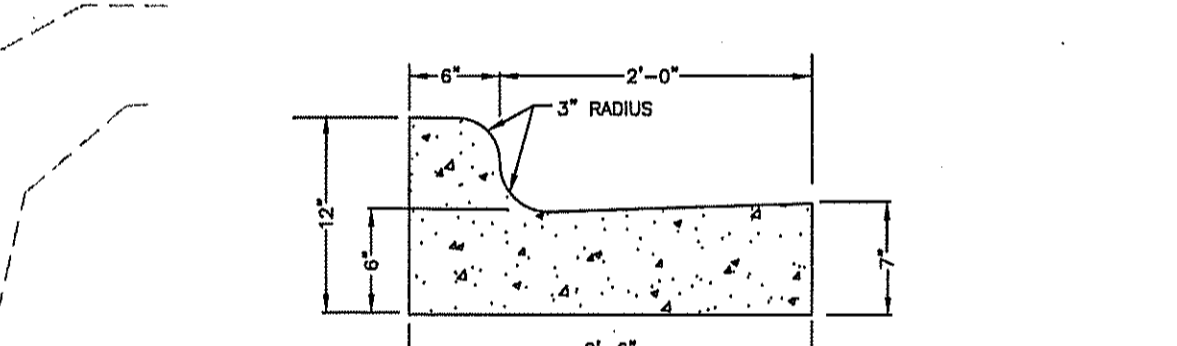
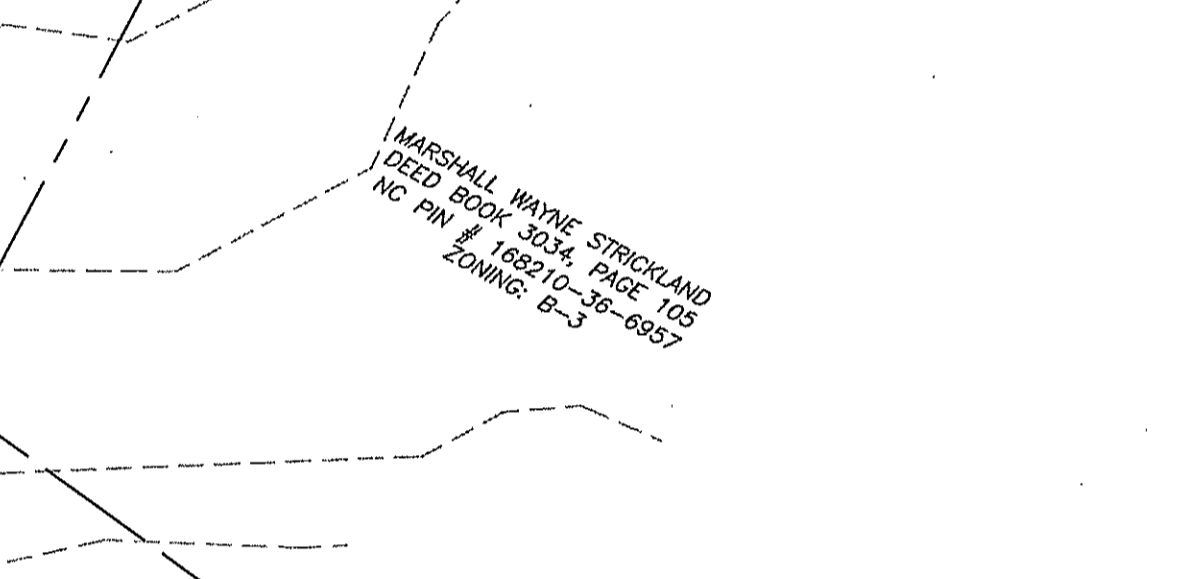


FINAL DRAWING - FOR REVIEW PURPOSES ONLY
 (NOT RELEASED FOR CONSTRUCTION)



TYPICAL TOWNHOME LOTS (WITH APPROX. BLDG. UNITS)
 NO SCALE

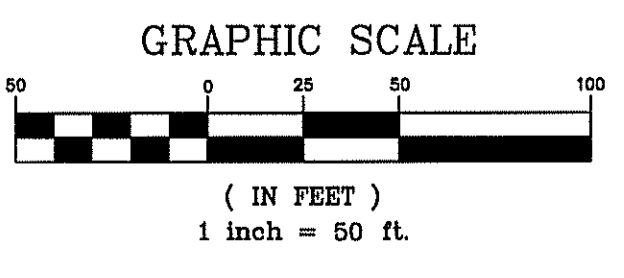
NOTES:
 1. Building Units on this plan are similar in size/shape to current/potential architectural plans provided and intended to generally represent the final product, but size of units hereon may vary from final architectural/building design. Typical building footprints and dimensions indicated hereon are preliminary/approximate and any changes to final unit size may affect final construction design/layout.
 2. Townhome Lots hereon are approximate in order to accommodate the various unit types and sloping of the layout, while still providing some extra length in the lots for final design or siting of units.



NOTES:
 1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI IN 28 DAYS.
 2. IRON STONE OR ASPHALT BASE IS REQUIRED UNDER CURB & GUTTER. PERFORM ANY COMPACTION TESTING FOR STONE BASE, OR DENSITY TESTING FOR ASPHALT AS MAY BE REQUIRED. EOP WITHIN 100' RIGHT-OF-WAY OR AS REQUIRED BY NCDOT PERMIT.
 3. UPON REQUEST, SUBMIT DESIGN AND PROVIDE FOR ANY FIELD SLUMP TESTS IN ACCORDANCE WITH SECTIONS 825-5 AND 420-7 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
 ALL OTHER REQUIREMENTS SHALL ADHERE TO SECTIONS 825, 846 AND 1000-4 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.

STANDARD CURB & GUTTER
 REF: NO SCALE
 CITY OF CHARLOTTE
 SEE ALSO NCDOT STD. 846.01

| LEGEND - CIVIL/SITE | | LEGEND (SURVEYING) | |
|----------------------------|----------------------------|--------------------|------------------------------------|
| EXISTING | PROPOSED | EXISTING | PROPOSED |
| WATERLINE (ALL SIZES) | WATERLINE (ALL SIZES) | LINE SURVEYED | OTHER LINES SURVEYED |
| BLOWOFF | BLOWOFF | LINE NOT SURVEYED | RIGHT-OF-WAY LINE |
| HYDRANT | HYDRANT | CENTERLINE OF ROAD | CONTROL CORNER |
| VALVE | VALVE | CC | EXIST. IRON PIPE FOUND |
| REDUCER | REDUCER | NIP | NEW IRON PIPE SET |
| METER | METER | ES | EXIST. IRON STAKE FOUND |
| SEWERLINE (ALL SIZES) | SEWERLINE (ALL SIZES) | NIS | NEW IRON STAKE SET |
| MANHOLE | MANHOLE | EPKN | EXIST. P.K. NAIL FOUND |
| CLEANOUT | CLEANOUT | PKN | NEW P.K. NAIL SET |
| STORM DRAINAGE (ALL SIZES) | STORM DRAINAGE (ALL SIZES) | EX. MAG. NAIL | EXIST. MAG. NAIL FOUND |
| CATCH BASIN | CATCH BASIN | MAG | NEW MAG NAIL SET |
| DROP INLET/YARD INLET | DROP INLET/YARD INLET | EX. RRS | EXIST. RAILROAD SPIKE FOUND |
| | | RRS | NEW RAILROAD SPIKE SET |
| | | ECH | EXIST. CON. MONUMENT FOUND |
| | | CP | COMPUTED POINT |
| | | A.G. | ABOVE GROUND |
| | | U.G. | UNDERGROUND |
| | | R/W | RIGHT-OF-WAY |
| | | DB | DEED BOOK |
| | | PG | PAGE |
| | | PP | EXIST. POWER POLE |
| | | OH-E | EXIST. OVERHEAD ELECTRICAL LINE |
| | | LP | EXIST. LIGHT POLE |
| | | HYD | FIRE HYDRANT |
| | | WV | WATER VALVE |
| | | WM | WATER METER |
| | | CO | CLEANOUT |
| | | BPP | BACKFLOW PREVENTER |
| | | PED | EXIST. UTILITY PEDESTAL |
| | | DB | EXIST. UTILITY SERVICE |
| | | FO | EXIST. FIBEROPTIC |
| | | UG-E | EXIST. UNDERGROUND ELECTRICAL LINE |
| | | CL | CENTER LINE |
| | | EP | EDGE OF PAVEMENT |
| | | B/C | BACK OF CURB |
| | | SW | SIDEWALK |
| | | DI | STORM DRAIN INLET |
| | | CB | STORM CATCH BASIN |
| | | SSMH | SAN SEWER MANHOLE |
| | | ECS | EXIST. COTTON SPINDLE FOUND |



BRL ENGINEERING & SURVEYING
 112 East Johnston Street
 Smithfield, NC 27577
 Office: (919) 989-9300
 Field: (919) 831-6934

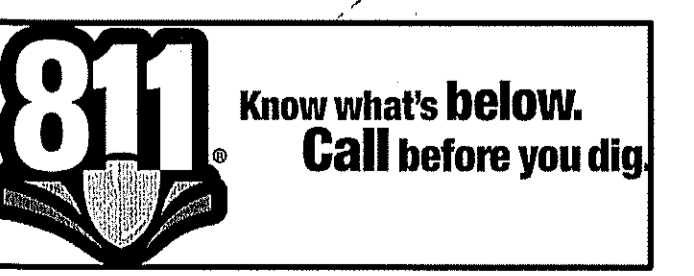
OWNER/DEVELOPER INFORMATION
 DEVELOPER: CRANTOCK LAND, LLC
 CONTACT: LANNY CLIFTON
 COMMUNICATIONS

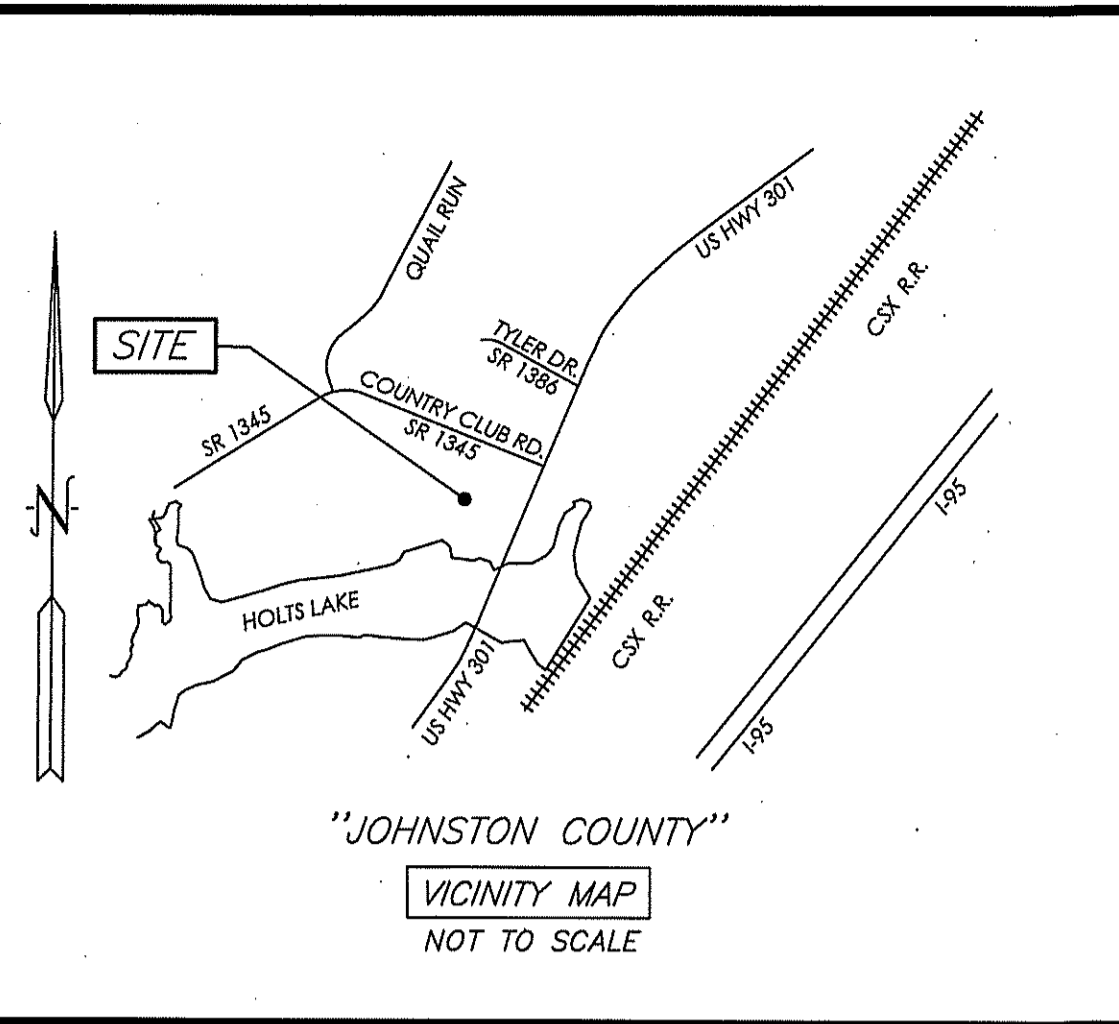
SITE INFORMATION
 TOWNSHIP: JOHNSTON COUNTY, NC
 COUNTY: JOHNSTON COUNTY, NC
 CITY: SMITHFIELD
 ADDRESS: COUNTRY CLUB ROAD, ZONING: B-3

PRELIMINARY SITE PLAN

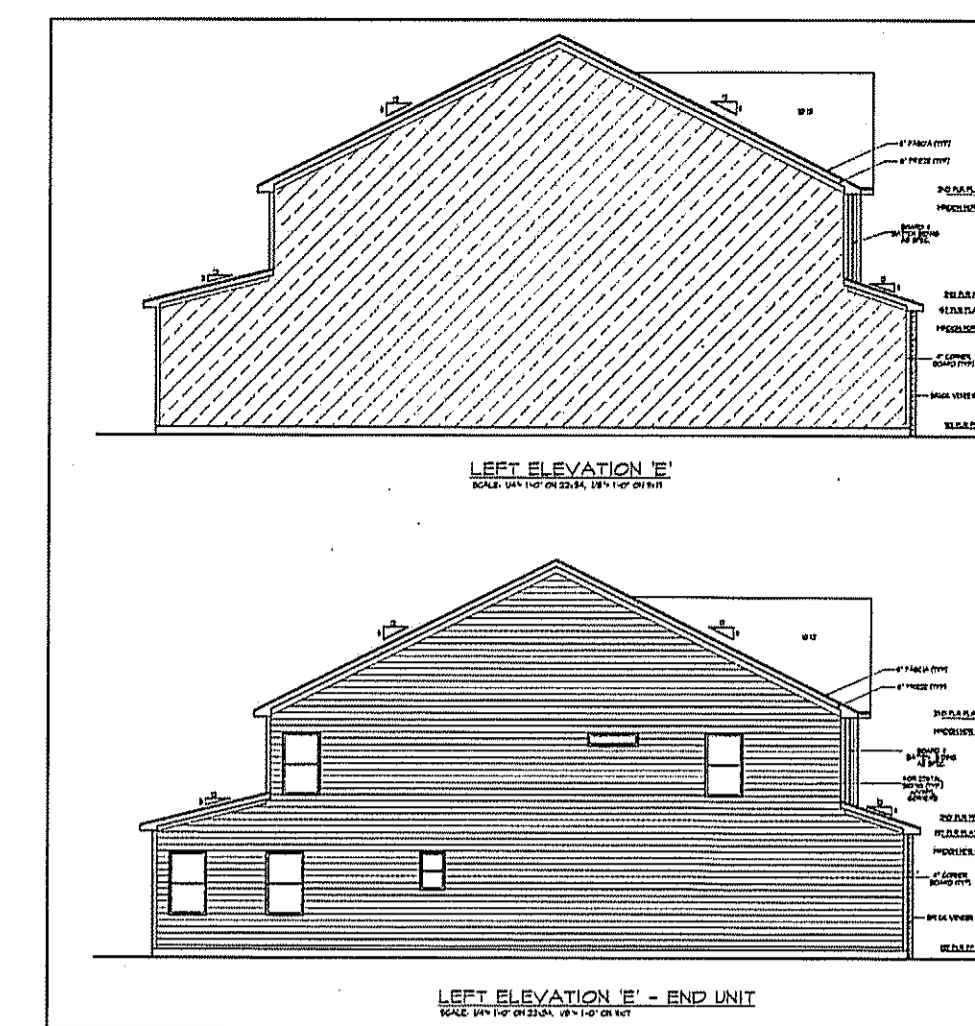
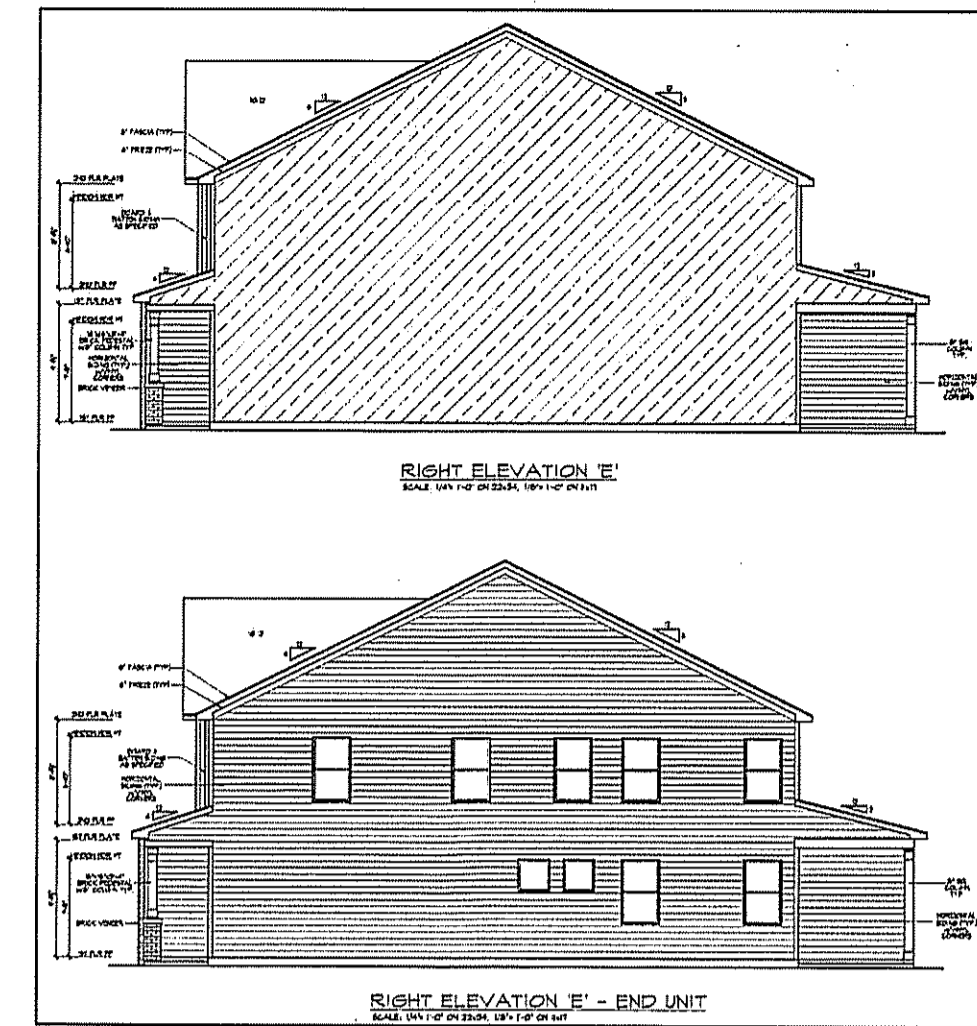
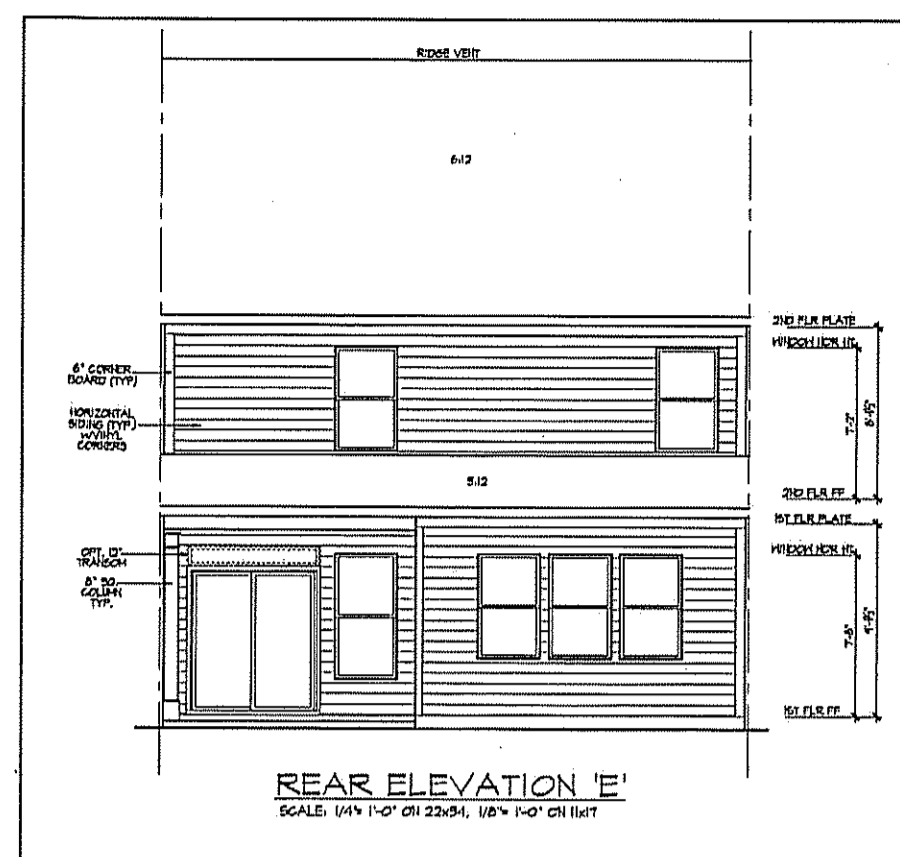
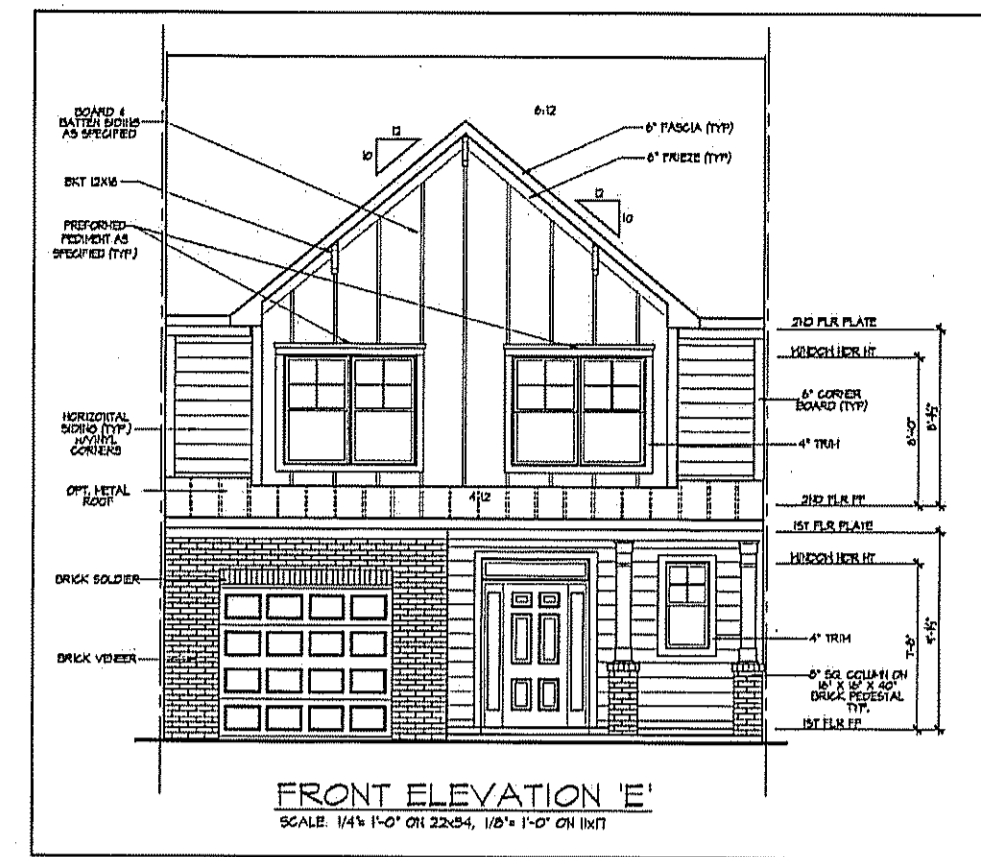
DATE: 8/2/24
 SCALE: REF. BAR SCALE
 DRAWN BY: SRB
 CHECKED BY: BRL
 PROJECT No.: 124072.00
 DWG.: Prelim-SitePlan-1000

Sheet No. **1** of **2**
PRELIMINARY



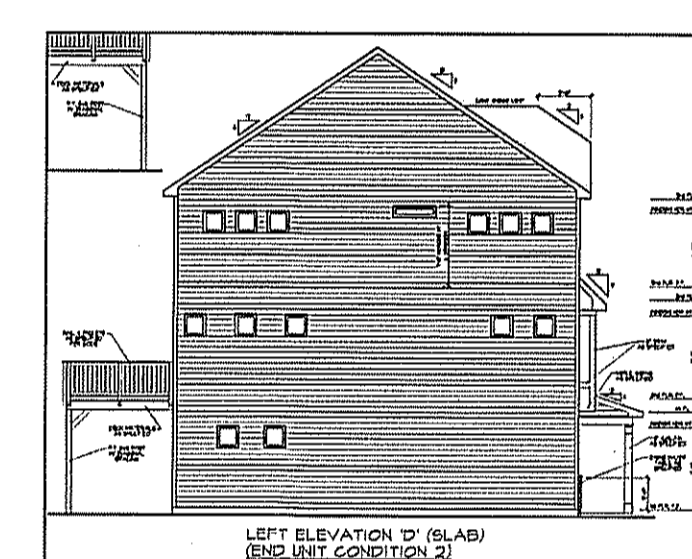
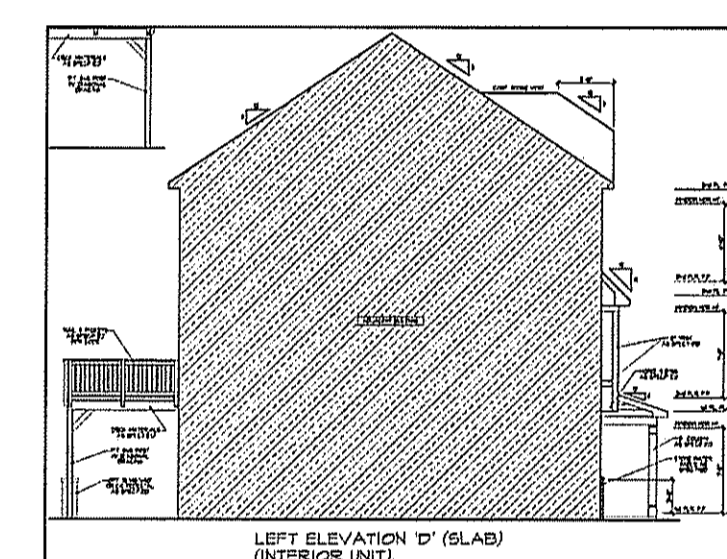
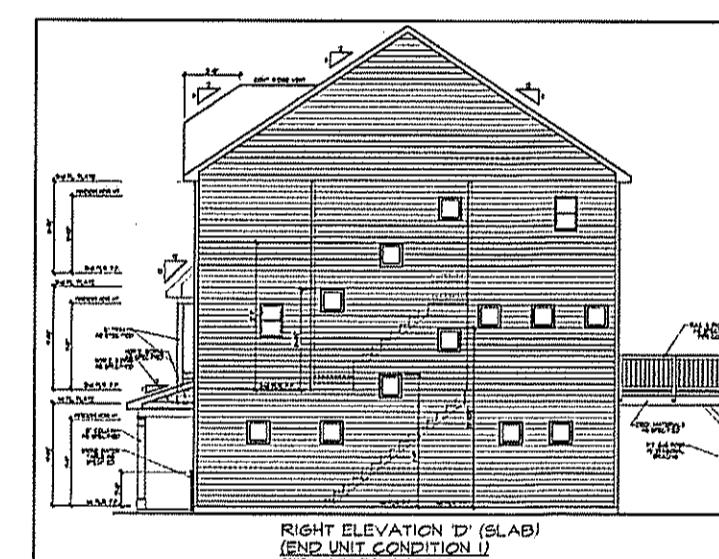
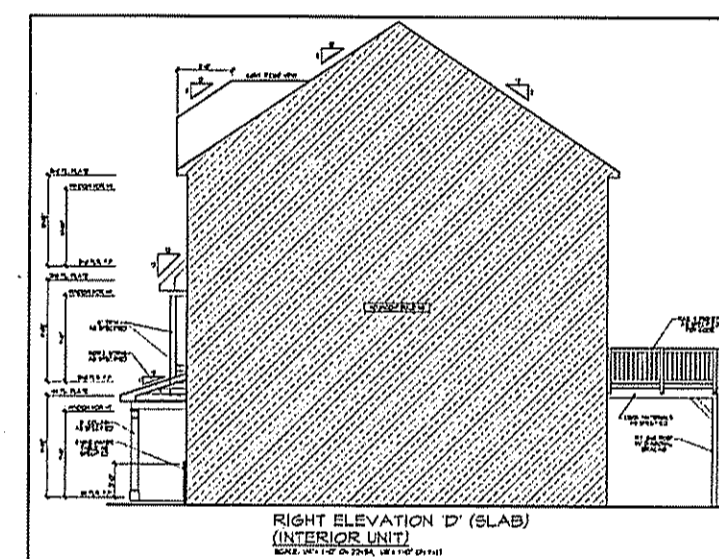
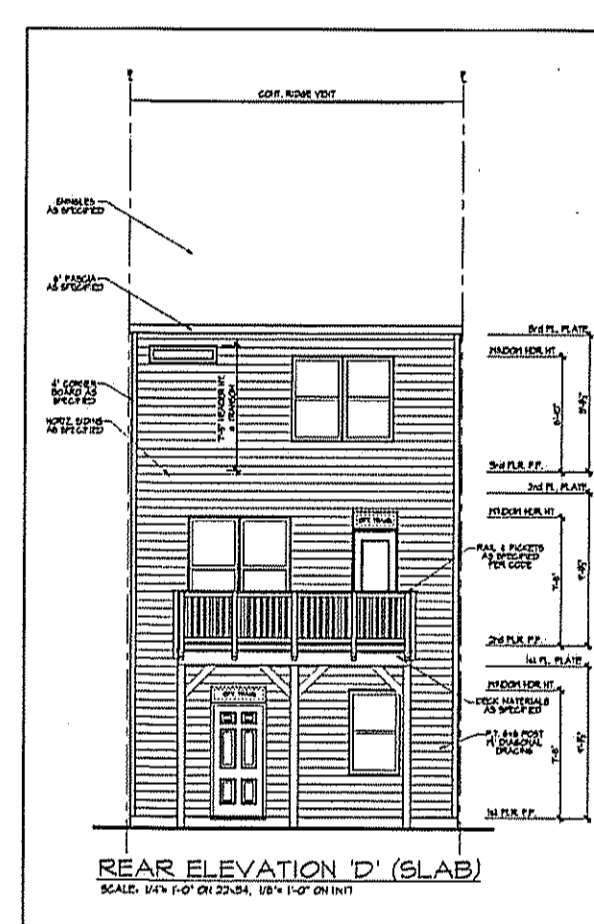
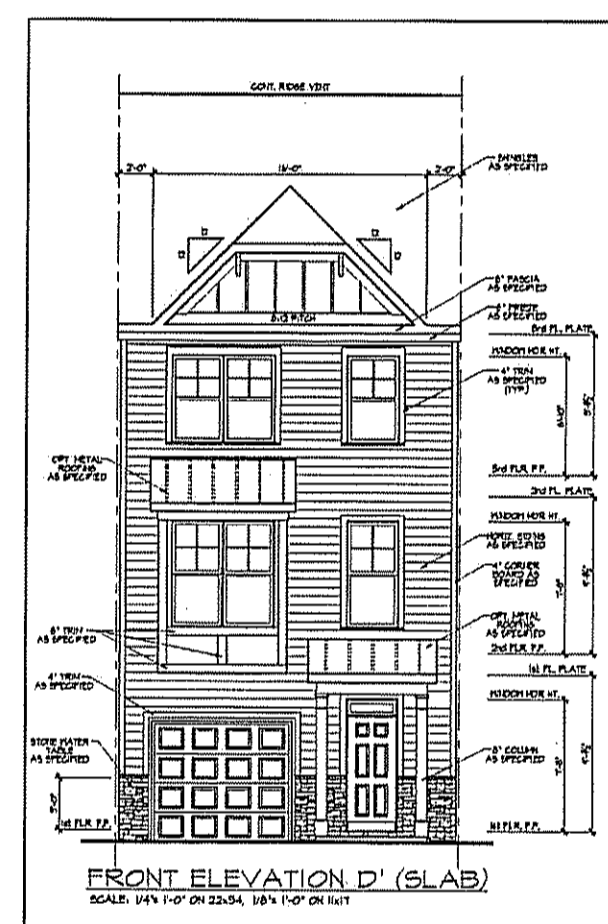


**FINAL DRAWING - FOR
REVIEW PURPOSES ONLY**
(NOT RELEASED FOR CONSTRUCTION)



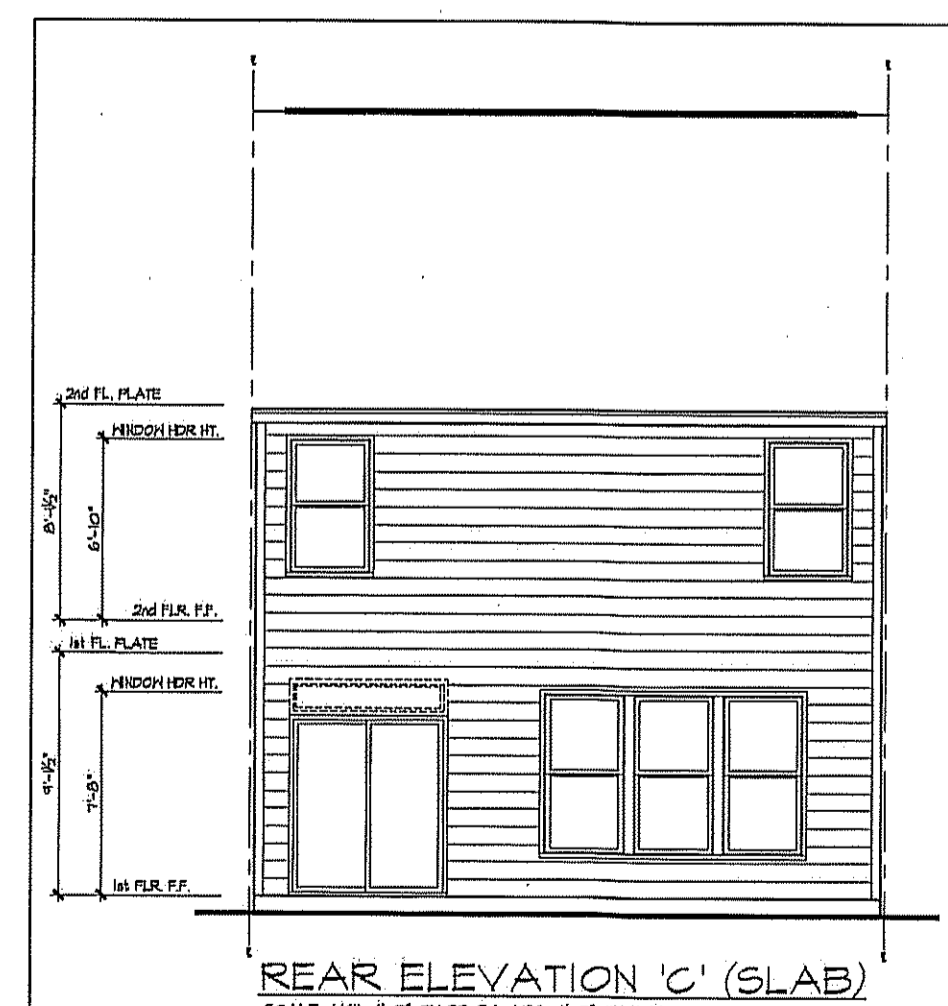
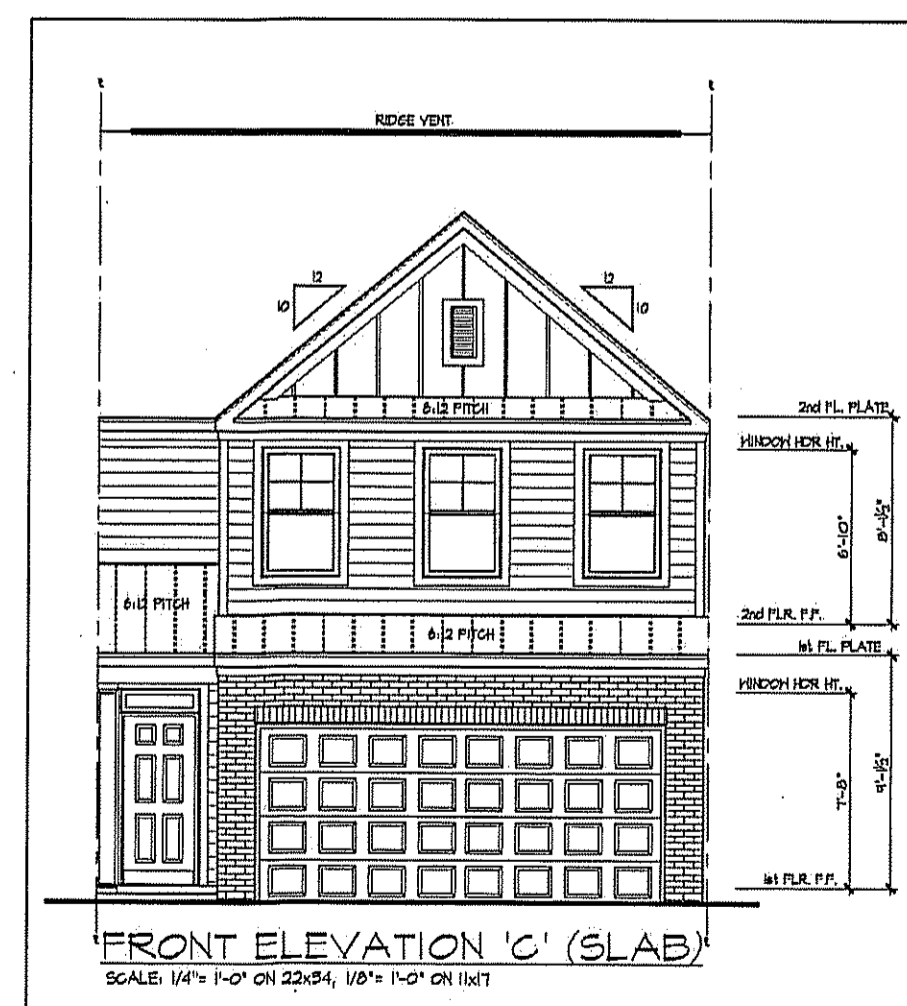
TARGET 2-STORY 1-CAR TOWNHOME ELEVATION

- NO SCALE
- NOTES:
- Plans and Elevations provided by Eastwood Homes.
 - Information on this plan is volunteered by Developer/Applicant as his vision for end product. Future builder and final building details have not yet been determined at this Preliminary stage of design and permitting.
 - Target Units reflect the current potential and probable unit styles for final construction and layout. The Developer/Applicant offers this/these plans as the likely style of townhome unit only as an indicator of final product and in order to demonstrate compliance with Town standards. Final product may vary some from this/these plans, but shall still comply with all Town standards and requirements.
 - Materials for the front facade on all units on this project are intended to be brick or stone as the primary front facade material, mixed with other rigid horizontal or vertical siding or shake texture.



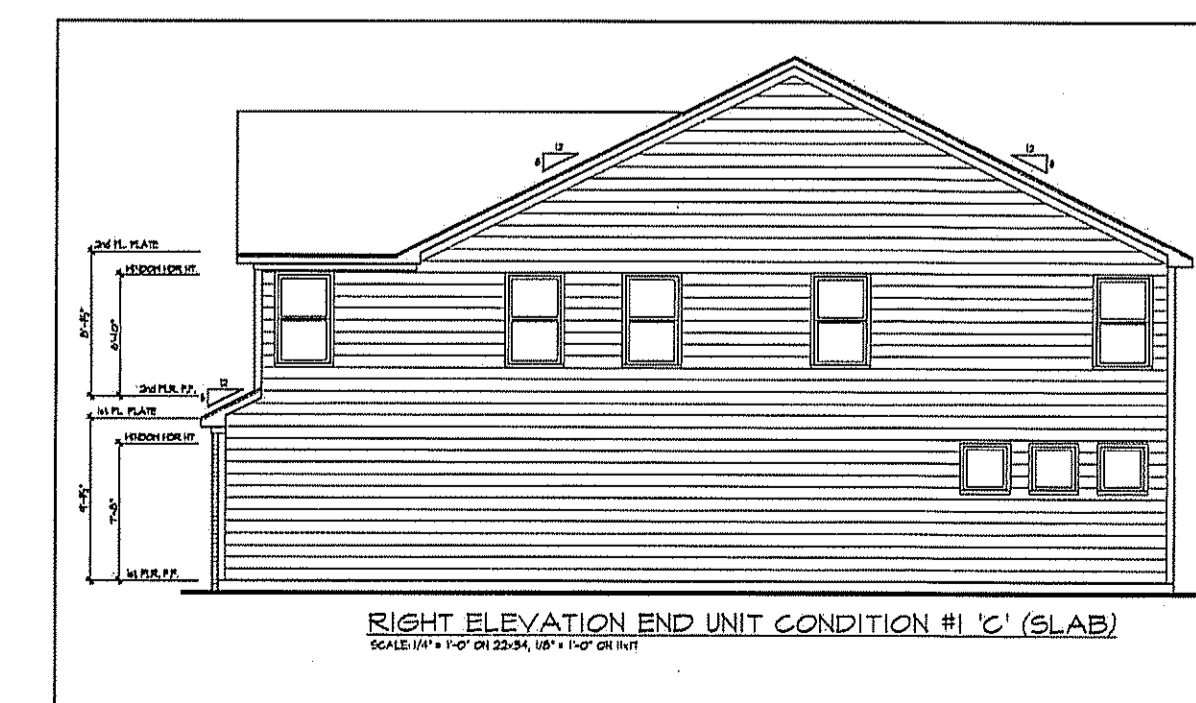
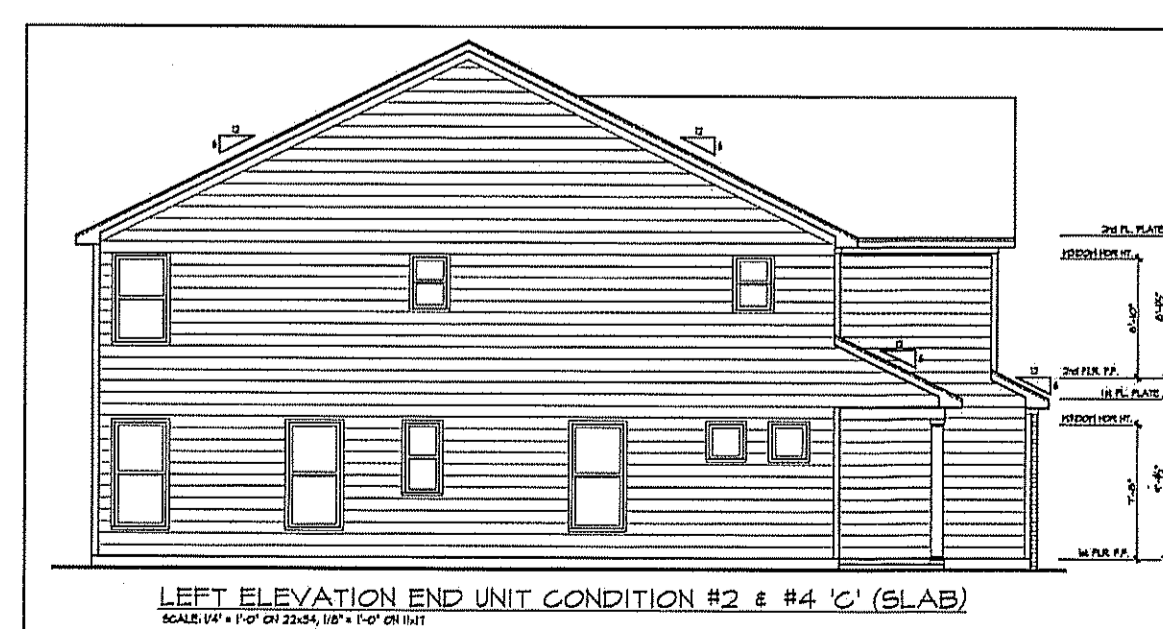
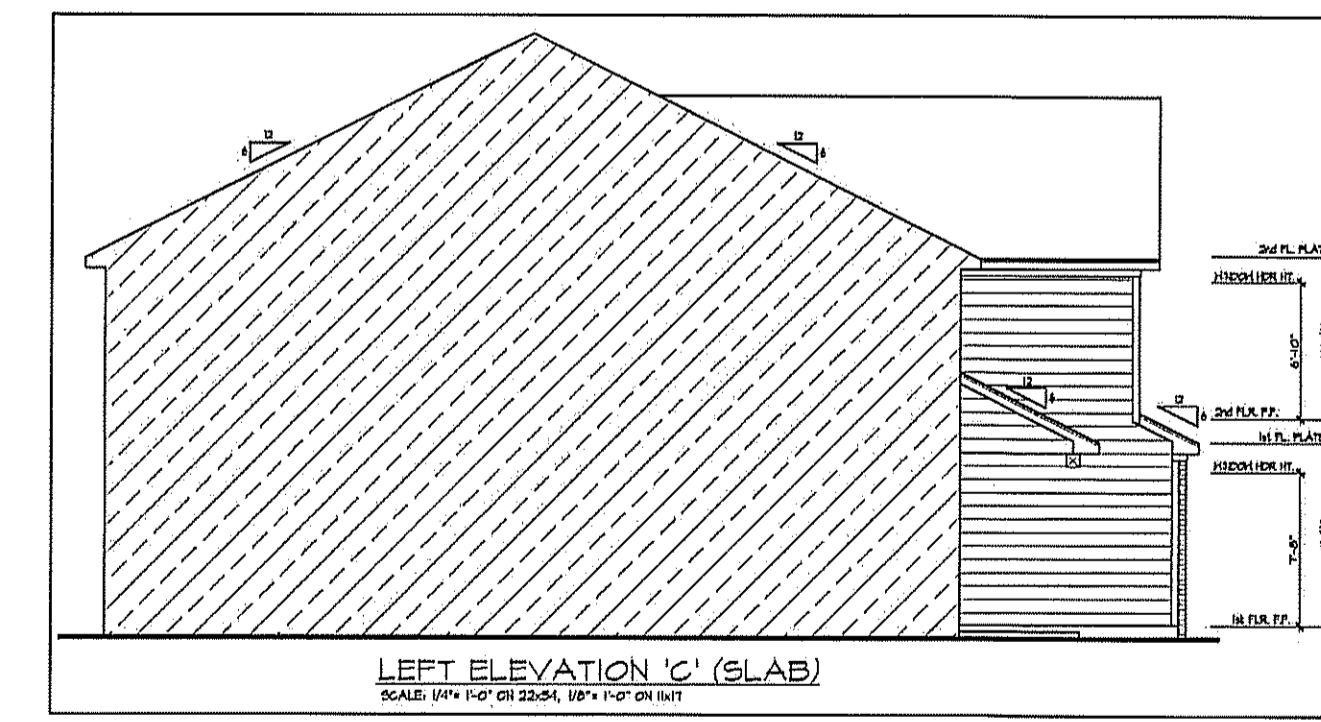
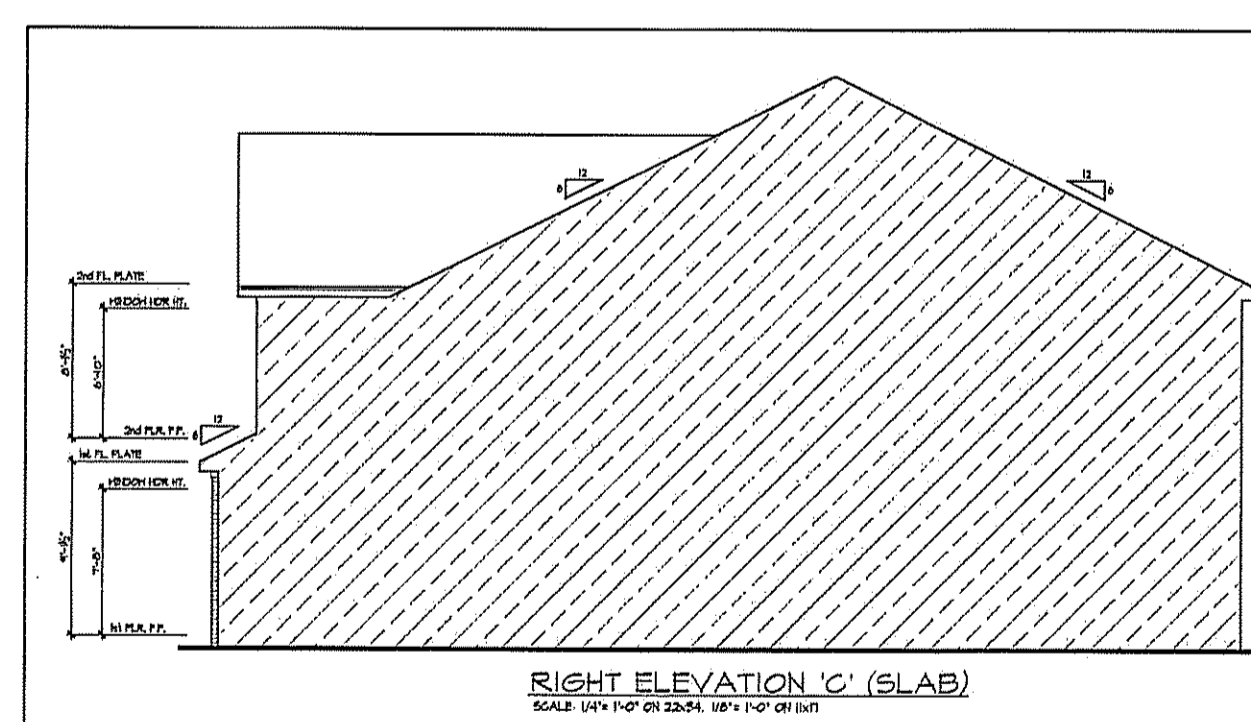
TARGET 3-STORY 1-CAR TOWNHOME ELEVATION

- NO SCALE
- NOTES:
- Plans and Elevations provided by Eastwood Homes.
 - Information on this plan is volunteered by Developer/Applicant as his vision for end product. Future builder and final building details have not yet been determined at this Preliminary stage of design and permitting.
 - Target Units reflect the current potential and probable unit styles for final construction and layout. The Developer/Applicant offers this/these plans as the likely style of townhome unit only as an indicator of final product and in order to demonstrate compliance with Town standards. Final product may vary some from this/these plans, but shall still comply with all Town standards and requirements.
 - Materials for the front facade on all units on this project are intended to be brick or stone as the primary front facade material, mixed with other rigid horizontal or vertical siding or shake texture.



TARGET 2-STORY 2-CAR TOWNHOME ELEVATION

- NO SCALE
- NOTES:
- Plans and Elevations provided by Eastwood Homes.
 - Information on this plan is volunteered by Developer/Applicant as his vision for end product. Future builder and final building details have not yet been determined at this Preliminary stage of design and permitting.
 - Target Units reflect the current potential and probable unit styles for final construction and layout. The Developer/Applicant offers this/these plans as the likely style of townhome unit only as an indicator of final product and in order to demonstrate compliance with Town standards. Final product may vary some from this/these plans, but shall still comply with all Town standards and requirements.
 - Materials for the front facade on all units on this project are intended to be brick or stone as the primary front facade material, mixed with other rigid horizontal or vertical siding or shake texture.



BRL ENGINEERING & SURVEYING
112 East Johnston Street
Smithfield, NC 27577
Office: (919) 989-9300
www.brlengineering.com
brleng@carolina.rr.com

Professional Engineer Seal: 025487

COUNTRY CLUB ROAD TOWNHOMES

OWNER/DEVELOPER INFORMATION
DEVELOPER: COUNTRY CLUB ROAD, LLC
CONTACT: JAMES GUYTON

SITE INFORMATION
TOWNSHIP, COUNTY, & STATE: SMITHFIELD, JOHNSTON CO., NC
CITY OR TOWN: SMITHFIELD
ADDRESS: 1345 SR HWY 201
NC PER: 1582-05-1545 ZONING: B-3

PRELIMINARY SITE PLAN

PRELIMINARY STORMWATER STATEMENT / NARRATIVE

for

COUNTRY CLUB ROAD TOWNHOMES

- LOCATION:** This Site is located in the Town of Smithfield Corporate Limits, at the southern intersection of US 301 and Country Club Road (SR 1345) and backs up to Holts Lake; approximately 500 ft South from the intersection of US 301 and Tyler Drive (SR 1386).
- DEVELOPER:** Crantock Land, LLC
5160 NC Highway 42 West
Garner, NC 27529
- CONSULTANT:** BRL Engineering & Surveying

BACKGROUND & OVERALL STORMWATER APPROACH:

SPECIAL SECTION REGARDING APPLICABLE REGULATIONS:

The Town of Smithfield has two separate sections of stormwater regulations found in its UDO. Both of these programs are handed down from the State and enforced by the Town. The first program (which is Town-wide) is the Neuse Basin Nutrient Stormwater Strategies of 15A NCAC 02B.0711 / Town UDO Sect. 10.50. The other program (which is specific to the protected and critical watershed areas in Town) is the Water Supply Watershed Protection Program of 15A NCAC 02B.0620 / Town UDO Sect. 10.92. Only the Neuse Basin Nutrient Stormwater Strategies regulations appear to be applicable to this project (the site is located outside of the Water Supply Watershed Area). In general, both of these regulations limit low-density sites to be at or below 24% impervious area, which this project intends to meet (see sections below). Low density sites are not required to install structural stormwater control measures (SCM's) that high-density projects must install. Also, the Neuse Basin Nutrient Strategies limit the amount of nitrogen to 3.6 lb/ac/yr leaving the site. This project also intends to be below this nitrogen limit (see sections below).

GENERAL SITE INFO / STORMWATER NARRATIVE-APPROACH:

The Preliminary Site Plan as currently laid out by our office depicts 60 new townhome lots on a vacant parcel of land. The townhome lots will be laid out along new/internal town streets which will extend from a single entrance off Country Club Road. This project requires new/proposed extensions of public infrastructure (ie. streets, water and sewer, including a new town sewage pump station). After construction and acceptance of the new infrastructure by the Town, then a final survey will be recorded at the courthouse and the new townhome lots established for future home construction by a builder. The initial/total property boundary currently encompasses approximately **8.026 acres +/-** (clear of existing road rights-of-way) *which shall be the basis for overall site compliance with the Town's zoning regulations as well as stormwater regulations.* The proposed 60-lots will be laid out on relatively high ground outside of wetlands and riparian buffer areas and also outside/above the 100-year floodplain. Calculations provided below indicate relatively high density and impervious areas for stormwater purposes, making this a "high-density" project (which requires additional structural measures or devices for treatment). The calculations also indicate that nitrogen loading rates are above minimum thresholds (requiring additional treatment or mitigation measures). The property is zoned B-3 which allows townhome units with a Special Use Permit (which this preliminary statement is written for) and all lot sizes and density requirements shall comply with Town of Smithfield zoning regulations, as applicable. The total site is currently lightly wooded on most of the site with more

heavily wooded portion along the western property where a dry drainage ditch separates this property from several lots in an adjacent subdivision. The site backs up to Holts Lake at the south and is moderately sloped draining directly toward the lake, with environmental areas (wetlands and buffers) near the lake shore, as well as a 100-yr floodplain. Regarding Neuse Riparian Buffers, the lake itself as well as the dry ditch to the west are indicated as drainage "features" on either the County Soils Map or the USGS Quad Map; however, the dry ditch feature to the west was determined to NOT be considered a riparian buffered stream and therefore this feature is not indicated on the Preliminary Site Plan. This determination was made by Brown's Environmental Group, Selma, NC and confirmed by NCDEQ (ref: DWR Project #24-226, dated 7/22/24). No townhome lots or other public infrastructure impacts the buffers at the lake, however a retaining wall is intended to be constructed just beyond Zone 1 of the buffer in order to elevate the future lots above the 100-year floodplain and/or other major flood events. This retaining wall is indicated on the Preliminary Site Plan. Wetlands have also been identified by Brown's Environmental Group as being a small area close to the lakeshore as indicated on the Preliminary Site Plan. No impacts to buffers are currently anticipated as indicated by this Preliminary Site Plan. Grading or filling to the elevate lots in the floodplain may require a FEMA LOMR-F approval. Also future townhome construction (after the development) could also require individual elevation certificates prior construction of townhomes. All construction in the floodplain must comply with all requirements of the Town's local floodplain regulations. After approval of this Preliminary Plan and the related Special Use Permit by the Town, then Final Construction Drawings for this project should be developed in general conformance with this approved plan. Although some adjustments to this plan may be necessary during the life cycle of the project, all current and future plans must be consistent and in compliance with all Town and other required regulations.

IMPERVIOUS AREA and OTHER PROJECT AREAS:

Total impervious area for this site was pre-computed at 3.862 acres for the project, which includes the Townhome lots, as well as streets, curb, sidewalk, parking areas, etc. (see impervious areas below). Relative to the total project boundary, this impervious exceeds the 24% threshold for a low-density site, making this project a high-density site which requires structural volume storage/containment/treatment measures (SCM's). Nitrogen Loading was also calculated to exceed the minimum 3.6 lb/ac/yr nitrogen which may require additional treatment and/or offset/mitigation fees. Disturbed Area has not been computed for this preliminary plan; however, this site will certainly exceed the 1.0 acre permitting threshold and therefore WOULD require State Erosion Control Plans & Permitting. A more detailed breakdown of impervious area and other project areas for this development are as follows:

OVERALL PROJECT AREAS:

- 2.328 Ac +/- (Townhome Lots)
- 1.528 Ac +/- (Internal Street R/W)
- 0.260 Ac +/- (Active Open Space – 11,315 sq.ft +/-)
- 3.845 Ac +/- (Passive Open Space, includes Public Parking/Vehicular Areas)
- 0.065 Ac +/- (Other Areas: Town Pump Station – 2,815 sq.ft +/-)
- 8.026 Ac TOTAL SITE**

IMPERVIOUS AREAS: (24% Threshold for "Low-vs-High Density" Site)

1.735 Ac +/- (Conserv)(Street/Asphalt/Sidewalk/Driveway-Portions – in New/Proposed R/W)

2.027 Ac +/- (Conserv) (Townhome Lots) *(Pre-computed, see below)

0.100 Ac +/- (Conserv) (Active Open Space/Playground/Recreation, Pump Station, etc)**3.862 Ac +/- (Conserv) TOTAL IMPERVIOUS**Percentage: 3.862 Ac / 8.026 Ac Total Site = **48.1% (Meets "High-Density")***Impervious PER LOT: 1,440 sq.ft. (for 1-Car Garage, Standard TH Unit) X 52 Lots
1,675 sq.ft. (for 2-Car Garage, Large TH Unit) X 8 Lots**PERMANENT/UNDISTURBED AREAS:**0.522 Ac (Passive Open Space; Mostly Wetlands & Zone 1 Buffers – Not Impacted This Plan)**0.522 Ac TOTAL PERMANENT/UNDISTURBED AREA**Percentage: 0.522 Ac / 8.026 Ac Total Site = **6.5%****PERMANENT/MANAGED AREAS:**

0.301 Ac (Grass and Other Managed Areas Remaining on TH Lots)

3.341 Ac (Grass and Other Managed Areas Remaining on Open Space)**3.642 Ac TOTAL PERMANENT/MANAGED**Percentage: 3.642 Ac / 8.026 Ac Total Site = **45.4%****PEAK RUNOFF REDUCTION:**

As stated above, total impervious is ABOVE the allowable 24% threshold, making it a "high-density" project (from a stormwater perspective) and therefore a stormwater volume containment/treatment measure (SCM) is required. A preliminary sized stormwater wet pond (SCM) is indicated on the Preliminary Site Plan in order to meet the stormwater requirements.

NITROGEN LOADING ESTIMATE:

Total Nitrogen Export WITHOUT TREATMENT from this subdivision is estimated to be **10.785 lb/ac/yr** (see attached calculations – "Method 2"). This IS ABOVE the allowable limit of 3.600 lb/ac/yr, and it slightly exceeds the maximum "buy-down threshold" of 10.0 lb/ac/yr. Therefore, some minimal nitrogen "treatment" (at the SCM) will be required to reduce nitrogen below the 10.0 lb/ac/yr threshold, AND THEN the remaining nitrogen may be "bought-down" by payment of the required mitigation fee.

EXISTING DRAINAGEWAYS, RUNOFF PATTERNS, and DOWNSTREAM/UPSTREAM ANALYSIS:

This site is situated adjacent to the northern lakeshore of Holts Lake. Relative to the property, the lake borders along the south, US 301 borders along the east, Country Club Road borders along the north, and an existing, normally-dry ditch borders to the east where lots from the adjacent Lakeside Subdivision back up to. The site is moderately sloped toward the lake, and most offsite drainage generally bypasses the site by draining either along the ditch to the east OR along the adjacent roadside ditches of US 301 and Country Club Road. Generally speaking, very little offsite runoff drains to this site, and on-site runoff from this site flows gently but directly toward Holts Lake. There is a 100-year floodplain along the shore of Holts Lake, therefore any proposed development, grading, filling, buildings, etc. shall be designed and constructed in conformance with all Town floodplain regulations. Because very little offsite runoff is directed across this site, no apparent impacts are anticipated to upstream properties. Regarding downstream impacts, the final construction drawings for this development should be graded so that by in large the townhome lots drain toward the street

storm drainage network, and the street storm network conveys both lot runoff and street runoff to the proposed stormwater containment pond for treatment and attenuation as required to meet Town stormwater requirements. If this grading pattern is followed and the pond is designed to meet current stormwater standards, then the runoff should be acceptably "treated" for water quality and "managed" for water quantity, thereby mitigating downstream impacts to properties, or the lake in this case. As stated, because the project is located along a 100-year floodplain, any site construction, including grading and filling in the floodplain shall comply with the local floodplain regulations. Future townhome units or other buildings are NOT part of this plan and we, nor the applicant/developer, while target unit types are illustrated on this Preliminary Plan, the specific final unit is to-be-determined and future builders are responsible for any rough or fine grading of the lots for proper drainage. Therefore, each lot should be graded by on-site builders in conformance with current building code and industry standards and regulations. Runoff should be directed by future builders from each lot either toward the adjacent street curbline. Sheet flow should be maintained from ALL proposed lots to the maximum extent practical. Again, this project is designed to be a "high-density" stormwater design and grading most of the runoff toward the designed stormwater pond will help ensure that negative downstream impacts are mitigated prior to leaving the site.

Sincerely,



BRL ENGINEERING & SURVEYING

Brian R. Leonard, PE, PLS
BRL/brl

Cc: None
Attachments: None



| NITROGEN LOADING - METHOD 2 (Known Impervious Area/Building Footprint) | | | |
|--|---------------------|--|------------------------------------|
| Type of Land Cover | Area (acres) | TN export coefficient (lbs/ac/yr) | TN export from use (lbs/yr) |
| Permanently protected undisturbed open space (forest, unmown meadow, wetlands, buffers) | 0.522 | 0.6 | 0.313 |
| Permanently protected managed open space (grass, landscaping, etc.) | 3.642 | 1.2 | 4.370 |
| Impervious surfaces (roads, parking lots, driveways, roofs, paved or graveled storage areas, graveled roads, etc.) | 3.862 | 21.2 | 81.874 |
| TOTAL | 8.026 | ---- | 86.558 |
| NITROGEN LOADING RATE (lbs/ac/yr) | | | 10.785 |

Impervious %: 48.1%

Project: Hartley Drive Townhomes

Description: 60Townhome Units on 60 Indiv. Lots

By: BRL

Date: 8/1/24

| | | |
|--|----------------|---------------------|
| Buy-Down to 3.6 lbs/ac/yr: | 7.185 | lb/ac/yr |
| X ac. X 30 yr: | 1,729.9 | Total LBS. Buy Down |
| <i>Multiply This by the Current Nitrogen Mitigation Rate</i> | | |

Town of Smithfield
Special Use Permit Application
Finding of Fact / Approval Criteria

Application Number: SUP-24-03 **Name:** Heritage Townes at Waddell

Request: The applicant seeks a special use permit to utilize property located within the R-8 (Single, Two, and Multi-Family) zoning district for a Townhouse development. The property considered for approval is located at 19 and 21 Waddell Drive, approximately 460 feet north of the Brightleaf Boulevard and Waddell Drive intersection, and further identified by the Johnston County Tax ID#s 15005023, 15005022A.

In approving an application for a special use permit in accordance with the principles, conditions, safeguards, and procedures specified herein, the Town Council may impose reasonable and appropriate conditions and safeguards upon the approval. The petitioner will have a reasonable opportunity to consider and respond to any additional requirements prior to approval or denial by the Town Council. The Town Council shall include in its comments a statement as to the consistency of the application with the Town's currently adopted Comprehensive Plan. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which the below requires.

The Town Council shall issue a special use permit if it has evaluated an application through a quasi-judicial process and determined that:

- 4.9.4.5.1. The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, or general welfare.
- 4.9.4.5.2. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- 4.9.4.5.3. Adequate utilities, drainage, parking, or necessary facilities have been or are being provided.
- 4.9.4.5.4. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.
- 4.9.4.5.5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- 4.9.4.5.6. That the use will not adversely affect the use or any physical attribute of adjoining or abutting property.
- 4.9.4.5.7. That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located.
- 4.9.4.5.8. The special use shall, in all other respects, conform to all the applicable regulations of the district in which it is located.

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: *Based upon satisfactory compliance with the above stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative, I move to approve Special Use Permit Application # SUP-24-03 with the following condition(s):*

1. That the parking lot entrances be constructed in accordance with the town's standard driveway detail.
2. That a traffic impact study be conducted prior to the preliminary plat.
3. That a 30' wide public utility easement be provided over the proposed water and sewer lines.

Motion to Deny: *Based upon failure to meet all of the above stated findings and for reasons stated therein, I move to deny Special Use Permit Application # SUP-24-03 for the following stated reason:*

1. _____

Record of Decision:

Based on a motion and majority vote of the Town of Smithfield Town Council for the Special Use Permit Application Number SUP-24-03 is hereby:

_____ **approved upon acceptance and conformity with the following conditions:**

1. That the parking lot entrances be constructed in accordance with the town's standard driveway detail.
2. That a traffic impact study be conducted prior to the preliminary plat.
3. That a 30' wide public utility easement be provided over the proposed water and sewer lines.

_____ **denied for the noted reasons.**

1. _____

Decision made this 6th day of December, 2022, while in regular session.

M. Andy Moore, Mayor

ATTEST:

Shannan L. Parrish, Town Clerk

Country Club Townhomes SUP-24-03

| Name1 | Name2 | Address1 | Address2 | CityStateZip |
|---|---------------------------------------|-----------------------|-------------|------------------------------|
| OLDHAM, JAMES A | | 2 BRITISH CT | | SMITHFIELD, NC 27577-0000 |
| 8182 PROPERTIES, LLC | | 833 COUNTRY CLUB RD | | SMITHFIELD, NC 27577-8306 |
| CARROLL LIVING TRUST | CARROLL, MICHAEL W TRUSTEE | 833 COUNTRY CLUB RD | | SMITHFIELD, NC 27577-8306 |
| PAMELA L WITHROW REVOCABLE LIVING TRUST | | 121 CYPRESS POINTE | | SMITHFIELD, NC 27577-0000 |
| KEENEY, DANIEL KASH | KEENEY, MARCIA EASON ARMSTONG | 125 CYPRESS PT | | SMITHFIELD, NC 27577-8387 |
| WILSON, MEWBORN BRAXTON III | | 118 CYPRESS PT | | SMITHFIELD, NC 27577-8387 |
| DENNING, WILLIAM ROBERT III | DENNING, MICHELLE D | 1052 N LAKESIDE DR | | SMITHFIELD, NC 27577-0000 |
| EVANS, MATTHEW R. | EVANS, CAROLINE K. | 26 LAFOY DR | | CLAYTON, NC 27527-6620 |
| SUTTON, EDWARD E JR | SUTTON, KELLY C | 125 WHIPPORWILL DRIVE | | SMITHFIELD, NC 27577-0000 |
| LAKESIDE HOMEOWNERS ASSOC INC | | 1084 N LAKESIDE DR | | SMITHFIELD, NC 27577-8383 |
| HOLT LAKE SOUTH HOMEOWNERS ASSOCIATION | HOLT LAKE SOUTH TOWNHOMES ASSOCIATION | 124 CARROLL DRIVE | | FOUR OAKS, NC 27524-0000 |
| HOLT LAKE SOUTH TOWNHOMES ASSOCIATION INC | | 91 SPRING BRANCH DR | | FOUR OAKS, NC 27524-7946 |
| HOLT LAKE SOUTH TOWNHOME ASSOCIATION INC | | | PO BOX 154 | SMITHFIELD, NC 27577-0000 |
| PARKER, LINDY WIMBISH LIFE ESTATE | PARKER, JOSEPH EARL REMAINDER | 604 RIVER BIRCH CT | | SMITHFIELD, NC 27577-3746 |
| WO FIELDS REVOCABLE TRUST | FIELDS, WO TRUSTEE | 929 S LAKESIDE DR | | FOUR OAKS, NC 27524 |
| VAMATTAN, SHEEBA THOMAS | | 933 S LAKESIDE DR | | FOUR OAKS, NC 27524-7955 |
| ARNN, CAROLYN B | | 937 S LAKESIDE DR | | FOUR OAKS, NC 27524-7955 |
| ARAGON, RAMONA | | 941 S LAKESIDE DR | | FOUR OAKS, NC 27524-7955 |
| LAFATA, LISA | | 945 S LAKESIDE DR | | FOUR OAKS, NC 27524-7955 |
| PENNY, RUTH M | | 2004 CAYUGA PL | | RALEIGH, NC 27612-2805 |
| STRICKLAND, MARSHALL WAYNE | | | PO BOX 192 | BLOUNTS CREEK, NC 27814-0192 |
| HOLT LAKE LLC | | | PO BOX 2504 | SMITHFIELD, NC 27577-2504 |



Request for Planning Board Action

**Agenda
Item:** CZ-24-05
Date: 9/5/24

Subject: Buffalo Ridge Conditional Zoning Map Amendment
Department: Planning
Presented by: Chloe Allen, Planner I
Presentation: Public Meeting

Issue Statement

Smithfield Land Group, LLC is requesting the rezoning of approximately 140 acres of land located at 1041 Buffalo Road, also identified by the Johnston County Tax ID 140001021, from R-20A to R-8 Conditional with a masterplan for a 210-lot detached single-family residential development.

Financial Impact

The future development will contribute to the Town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the conditional rezoning request and to decide whether to recommend approval, approval with conditions, or denial.

Recommendation

Planning Staff recommends the Planning Board recommend approval of the rezoning, CZ-24-05, with 12 conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans and that the request is reasonable and in the public interest.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report
2. Consistency Statement
3. Application/Narrative
4. Site Plan



Staff Report

Agenda Item: CZ-24-05

REQUEST:

Smithfield Land Group, LLC., is requesting the rezoning of approximately 140 acres of land located at 1041 Buffalo Road, also identified by the Johnston County Tax ID 140001021, from R-20A to R-8 Conditional with a masterplan for a 210-lot detached single-family residential development.

PROPERTY LOCATION:

The property is located at 1041 Buffalo Road, north of Buffalo Creek on the west side of Buffalo Road.

APPLICATION DATA:

| | |
|---------------------------|--|
| Applicant: | Smithfield Land Group, LLC |
| Property Owners: | Smithfield Land Group, LLC |
| Project Name: | Buffalo Ridge |
| Tax ID: | 14001021 |
| NC PIN: | 169411-65-0647 |
| Acreage: | 139.860-acres |
| Present Zoning: | R-20A (Residential-Agriculture) and WS-IV-CA (Critical Area Watershed Overlay) |
| Proposed Zoning: | R-8 CZ (Single-Two-Multi-Family Residential Conditional) |
| Town/ETJ: | Town |
| Existing Use: | Vacant |
| Proposed Use: | Single-Family Residential |
| Fire District: | Smithfield |
| School Impacts: | Additional households with school-age children |
| Parks and Recreation: | No parks proposed – fee in lieu |
| Water and Sewer Provider: | Town of Smithfield |
| Electric Provider: | Town of Smithfield |

ADJACENT ZONING AND LAND USES: (SEE ATTACHED MAP)

| | Zoning | Existing Land Uses |
|--------------|---------------|---|
| North | R-20A | Single-Family Residential |
| South | R-20A | Vacant Open Space/Floodplain |
| West | R-20A | Vacant Woodland |
| East | R-20A, R-8 | Single-Family Residential and Vacant Open Space |

EXISTING CONDITIONS/ENVIRONMENTAL IMPACTS:

- The property has 68.3-acres of wetland, 19.5-acres in floodway, 72.4-acres in 100-year floodplain, and 7.4-acres in 500-year floodplain. The site is mostly open with some woods in the lower elevations. The site is adjacent to the Neuse River on the west and Buffalo Creek to the south, and both require a 30' riparian buffer. The developer will impact the wetlands with road crossings.
- There is a 100-year floodplain on the property where lots are being proposed. The grading plan will show the lots that are within the floodplain to be elevated where the FFE of the new homes will be 2' above flood elevation as required by code. The roads may be around the 100-year floodplain elevation and will not be raised 2' above the floodplain. The storm drainage system is required to be sized for a 10-year storm so elevating the roads above the flood elevation is not critical compared to the new homes.
- A portion of the site is within the Waters Supply Critical Area Watershed Overlay which restricts density and has stormwater management requirements. Any portion of the development within the Watershed will need to comply with the UDO Section 10.92.6 WS-IV-CA.



DEVELOPMENT OVERVIEW:

The proposed development is a 210-lot single-family residential lot subdivision on a +/- 139-acre site with nearly 93-acres of open space. The proposed local roads are 27' wide back-to-back in 60' public right of way with standard curb and gutter in accordance with Town standards. The development proposes two access points on Buffalo Road and two lateral street connections to Holland Drive to the north. The development will have public water, sewer, and power.

COMPREHENSIVE LAND USE PLAN:

- The plans are consistent with the comprehensive plan guidance. The Comprehensive Plan guides the area for Medium Density Residential and the proposed zoning and density (1.5 units per acre) are appropriate.

WATER SUPPLY WATERSHED – CRITICAL AREA ZONING OVERLAY:

A portion of the site is within the Waters Supply Critical Area Watershed Overlay which restricts density and has stormwater management requirements. The project will need to comply with the UDO Section 10.92.6 WS-IV-CA.

SITE ACCESS AND STREET DESIGN:

- The development will have two access points on Buffalo Road, an NCDOT road. NCDOT approval will be required.
- The development proposes two lateral roads connecting with Holland Road to the north utilizing existing vacant right-of-way (unopened).
- All the internal roads will be 27' wide b/b within 60' public rights-of-way consistent with town standards.
- Standard curb and gutter will be used throughout the development.
- Curb and gutter are proposed along the Buffalo Roadway edge with underground drainage (NCDOT has no objection).
- Public sidewalks are proposed on both sides of public streets.

TRAFFIC STUDY:

- A traffic study will be required for the development prior to preliminary plat approval in cooperation with NCDOT.

LOT DIMENSIONAL AND SETBACK STANDARDS:

- The proposed minimum lot area is 6000 sq. ft. (Average lot size is 6850 sq. ft)
- The proposed minimum lot width is 50'.
- The proposed minimum lot depth is 107'.
- The proposed minimum setbacks:
 - Front and Corner Side = 25'
 - Side = 5'
 - Rear = 12', except lots backing up to Holland Drive lots will have 25' rear setback.

OPEN SPACE/RECREATION/TRAILS:

- There are no recommended parks for this site in the Smithfield Parks Plan.
- The development will provide over 93 acres of passive open space area, mostly consisting of wetland and flood plain areas.

- A 24' wide open space area has been provided along Buffalo Road.
- The developer will construct an 8' wide trail along Buffalo Road frontage as required by the Pedestrian Plan.
- The developer is proposing walking trails and benches along the perimeter of the new storm ponds.
- A tot lot playground is proposed adjacent to the mail box kiosk parking area.
- An HOA will manage and maintain the open space areas.

STORMWATER MANAGEMENT:

No stormwater retention is required because the development will have an impervious footprint that is less than 24%, however the developer in planning to construct 2 stormwater ponds to collect stormwater. The ponds will be designed to mitigate 10-year storm events, meaning the post development runoff from the 10-yr storm will be less than or equal to the predevelopment runoff.

The applicant plans to aerate any wet ponds to control mosquitos.

MAIL KIOSK AND PARKING LOT:

- A mail kiosk and parking for 11 vehicles is shown on the site plan near the southern entrance.
- A standard concrete driveway apron should be constructed at the entrance to the parking lot.

ARCHITECTURAL DESIGN STANDARDS (example architecture provided in staff presentation):

All Lots:

- A combination will be required of no less than two (2) materials on the front facade of all homes.
- All front facades will include no less than 10% of either one (1) of the following materials: brick, stone, or substantially similar substitute material.

Corner Lots:

- All corner lots will be required to have no less than one (1) window on each visible side of the residence.

PUBLIC UTILITIES:

- Water, Sewer, and Power will be Town of Smithfield. The developer will apply for sewer capacity for the entirety of the development project at the outset, unless directed otherwise by the County.

BUFFERS AND LANDSCAPING:

- There are 10-lots with backyards facing Buffalo Road. The developer has provided a 24' wide open space area along Buffalo Road and will provide the required landscaping along the road frontage with a landscaped berm and fencing that will screen the backs of these lots. The developer should provide an elevation showing the berm, fence and landscaping that clearly shows the height and extent of the berm.
- A 10' landscape buffer is proposed between the new lots that back up to the larger Holland Drive lots to the north (+/- 10,000 sq. ft. lots). The buffer will exist within an easement over the new lots. Existing vegetation will be maintained as much as possible during construction.
- The developer is proposing enhanced landscaping near the entrances to the development from Buffalo Road.

SUBDIVISION MONUMENT SIGNS:

- The developer is proposing monument signs at both entrances to the subdivision from Buffalo Road.

PHASING:

- Phase 1 of the development is expected in Spring of 2025 and build out is expected to take approximately 5 years (2030).

PROPOSED DEVIATIONS FROM UNIFIED DEVELOPMENT ORDINANCE (SUMMARY):

Deviations from Town Requirements:

- Minimum lot width reduction from 70 feet to 50 feet.
- Minimum lot area reduction from 8,000 sf. to 6,000 sf.
- Front and corner side yard setback from 30 feet to 25 feet.
- Side Setback from 10 feet to 5 feet.
- Rear Setback from 25 feet to 12 feet, except lots backing up to Holland Drive lots.

Standards Exceeding UDO Requirements:

- Provide concrete curb and gutter along Buffalo Road (underground drainage) with NCDOT approval.
- Street yard with berm with 6' fence along Buffalo Road.
- Enhanced landscaping at the development entrances onto Buffalo Road.
- Landscape buffer adjacent to the existing subdivision to the north (preserving existing vegetation).
- Walking trails in the open space with benches.
- Architectural standards.
- Wet pond aeration.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – *The development is consistent with the comprehensive plan.*
- **Consistency with the Unified Development Code** – *The property will be developed in conformance with the UDO conditional zoning provisions that allows a good faith negotiation of development standards.*
- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses with the additional conditions of approval.*

RECOMMENDATION:

Planning Staff recommend the Planning Board recommend approval of CZ-24-05 with the following conditions:

1. That the future development plans for the project be in accordance with the approved Master Plan, B-3 Zoning District, and other UDO regulations with the deviations:
 - Minimum lot width reduction from 70 feet to 50 feet.
 - Minimum lot area reduction from 8,000 sf. to 6,000 sf.
 - Front Setback from 30-feet to 25-feet.
 - Side Setback from 10-feet to 5-feet.
 - Rear Setback from 25-feet to 12-feet, except lots backing up to Holland Drive lots.
2. The minimum corner side yard setback shall be equal to the minimum front setback.
3. That the berm along Buffalo Road be three feet in height or greater where back yards face the state road.
4. That the development plans be in accordance with WA-IV-CA Overlay regulations.
5. That curb and gutter and underground drainage be provided along Buffalo Road in accordance with NCDOT requirements.
6. Garages shall be no smaller than 12' x 22' in size.
7. A standard concrete driveway apron be provided for all residential driveways and the kiosk mailbox parking lot entrance.
8. That an 8' wide multi-purpose trail be provided along Buffalo Road in accordance with the Town's Pedestrian Plan and NCDOT requirements.
9. That the architectural standards be incorporated in homeowner's association (HOA) documents.
10. That the open space amenities, kiosk, parking lot, and stormwater management be owned and maintained by an HOA.
11. A traffic study shall be conducted in accordance with the Town's UDO and NCDOT requirements prior to preliminary plat application.
12. The loop trail from the Buffalo Road Trail be modified to connect to the property to the north near lot 38.

RECOMMENDED MOTION:

"Move to recommend approval of the zoning map amendment, CZ-24-05, with the 12 conditions of approval, finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest."

Buffalo Ridge CZ Map Amendment - Revised

File Number:
CZ-24-05

Project Name:
Buffalo Ridge

Location:
Buffalo Road

Tax ID#:
14001021

Existing Zoning:
R-20A

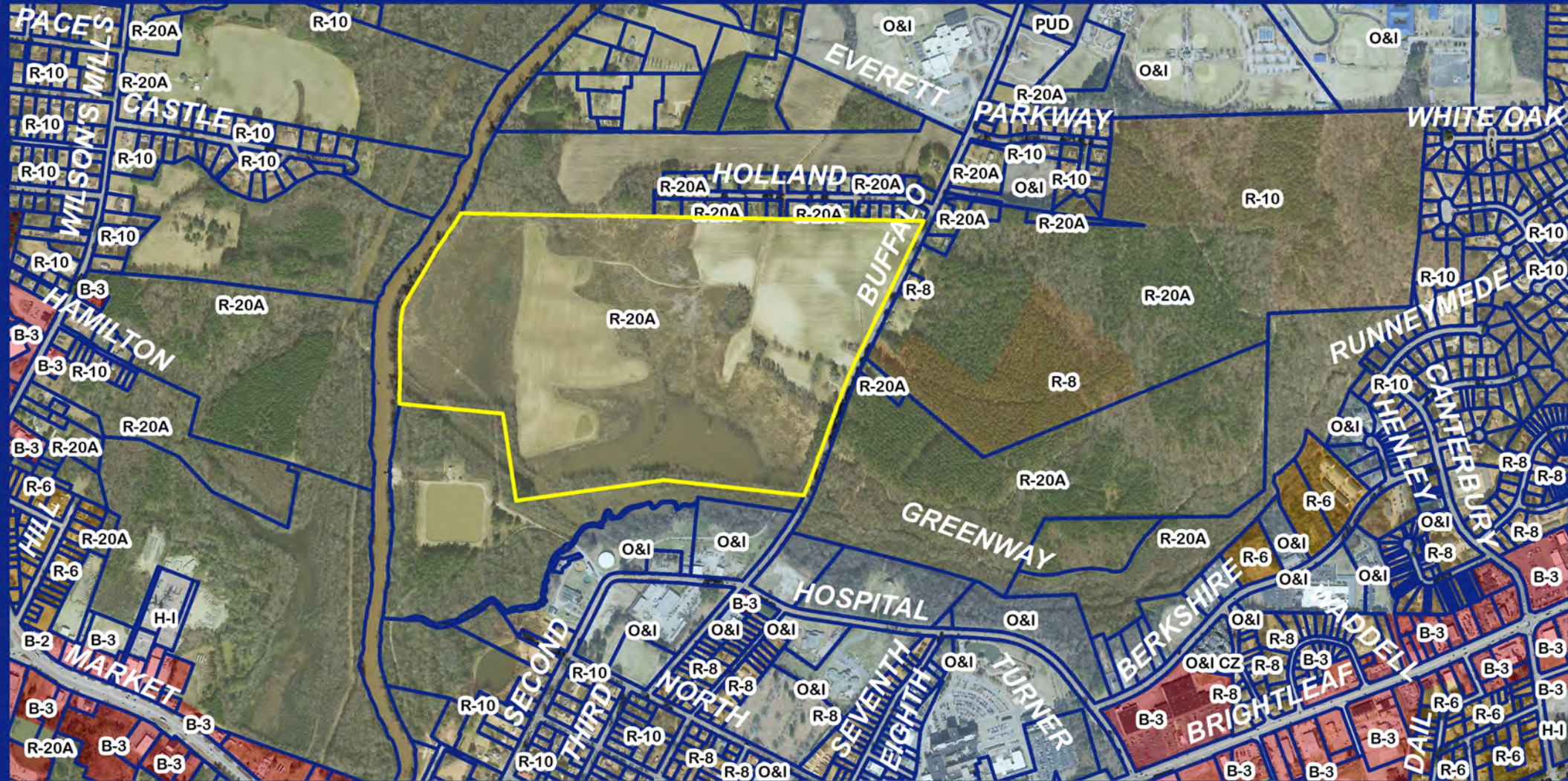
Owner:
Smithfield Land
Group, LLC

Applicant:
Rhetson
Companies, Inc



1 in = 1,042 ft

Map created by Chloe Allen
Planner I on 2/12/24





Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 Smithfield-NC.com 919-934-2116

CONDITIONAL ZONING APPLICATION

Development Name **Buffalo Ridge Subdivision**

Proposed Use **Single Family Residential**

Project location or address **1041 Buffalo Road, Smithfield, NC, 27577**

Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

| | | | |
|------|-----------------------|---------|------------------|
| PIN# | 169411-65-0647 | TAX ID# | 140001021 |
|------|-----------------------|---------|------------------|

Project type? Single Family Townhouse Multi-Family Non-Residential PUD/Mixed Use

PROPERTY OWNER INFORMATION

Name **Smithfield Land Group, LLC**

Address **2075 Juniper Lake Road, West End, NC, 27376**

Phone **(910) 944-0881** Email **catherine@rhetson.com/greg@rhetson.com**

OWNER/DEVELOPER INFORMATION

Company Name **Rhetson Companies, Inc** Contact Name **Greg Stewart**

Address **2075 Juniper Lake Road, West End, NC, 27376**

Phone **(910) 944-0881** Email **greg@rhetson.com**

CONSULTANT/ENGINEERING FIRM

Company Name **4D Site Solutions, Inc** Contact Name **Scott Brown, PE**

Address **409 Chicago Drive, Suite 112, Fayetteville, NC, 28306**

Phone **(910) 426-6777** Email **sbrown@4dsitesolutions.com**

ZONING INFORMATION

Existing Zoning District **R-20A** Proposed Zoning District **R-8 Conditional**

If more than one district, provide the acreage of each:

Overlay District? Yes No Inside City Limits? Yes No

ENVIRONMENTAL QUALITY DATA INFORMATION

| | | | |
|---|----------------------|---|-----------------------------|
| Existing Impervious Surface acres/sf 0 ac (0 sf) | Flood Hazard Area | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| Proposed Impervious Surface acres/sf 33.6 ac (1,462,153 sf) | Neuse River Buffer | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| Watershed Protection Area 32.3 ac (1,408,249 sf) | Wetlands | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| FEMA Map Panel 1694 | Base Flood Elevation | | |

SITE DATA


| | |
|--------------------------------------|--|
| Total # of single-family lots 210 | Total densities per zoning district 1.5 units/ac |
| Total # of townhouse lots 0 | Acreage in active open space 0 |
| Total # of all lots 210 | Acreage in passive open space 25.3 |
| Linear feet of new roadways 9,794 | Linear feet of new sewer mains 8,262 |
| Linear feet of new water mains 9,440 | Linear feet of new sidewalks 17,713 |
| Proposed sewer allocation | Linear feet in new trails |

SIGNATURE BLOCK (Applicable to all developments)

In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the Town.

I hereby designate Rhetson Companies, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

| | | | |
|-----------|---|------|---------|
| Signature |  | Date | 7/25/24 |
| Signature | | Date | |

APPLICATION FEES

Conditional Zoning (4 paper copies & 1 Digital copy of all documents on USB flash drive) \$400.00 + \$10 per acre

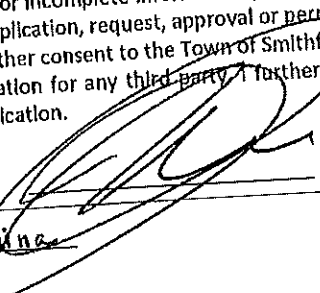
Application Date Application Number Application Fee

OWNER AUTHORIZATION

I hereby give CONSENT to Rhetson Companies, Inc. (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Signature of Owner



Printed Name of Owner

Richard Vincent

North Carolina

(State)

Harnett

(County)

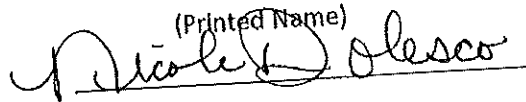
I, Nicole D. Olesco, a Notary Public in and for said County and State, do hereby certify that Richard Vincent personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 3rd day of May 2024.

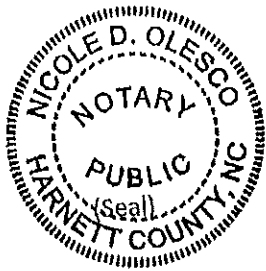
Notary Public:

Nicole D. Olesco

(Printed Name)



(Signature)



County of Commission:

Harnett

Commission Expires:

11/07/2027

PROJECT NARRATIVE

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- A statement showing the proposed density of the project with the method of calculating said density shown;
- Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision; length of each, expected sewer allocation.
- A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).
- List of deviations from the town's minimum UDO requirements.
- List of improvements that exceed the town's minimum UDO requirements.
- Expected sales, rental prices
- Architectural standards if applicable.

INFORMATION TO BE PROVIDED ON PLAN

The Town of Smithfield Site Plan Requirements is found in Article 5 of the Unified Development Ordinance. Site plans shall contain the following information, if applicable, as determined by the UDO Administrator:

- Preferred sheet size is 24" x 36" for site plans (maximum sheet size of 30" x 42"); if more than one sheet, all sheets should be numbered; should be the same size and scale; and should show match lines, along with an index sheet.
- Submittals should also be made in digital PDF file format.
- The site plan shall be prepared by a professional engineer, registered land surveyor, or licensed architect.
- Engineer's scale -- no smaller than 1" = 100' for Site Plans unless approved by staff. Larger scale showing more detail is better. Include both a graphic scale and a numeric scale. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan.
- North arrow or compass rose.
- Date (original and all revisions) should be shown on all sheets.
- A vicinity map of the site with reference to surrounding areas and existing street locations.
- The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records
- Proof of ownership - Deed book and page reference demonstrating ownership of property.
- Parcel Identification Numbers (PIN) for site and adjacent properties.

Existing Conditions:

- The total area (acreage), and the exterior boundary of all land included in the request for approval (defined by metes and bounds, with the source of all boundary information referenced). All adjoining property lines should also be shown.
- Location of all existing structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- Required setbacks, setback lines, or typical lots.
- Location, width and identification of all existing easements (public and private), defined by centerline bearings, distances and ties to property corners (with standard notes).
- Location of existing watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- Show all existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name, and significant soil conditions.
- Topography showing existing contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- Existing zoning of the property, including zoning district lines where applicable.
- Location of existing sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.
- Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television
- Existing open space and any other common areas.
- Existing parking and loading areas.

Proposed Conditions:

- All proposed streets, drives, parking areas, fire lanes and access, loading and unloading areas with dimensions, traffic patterns, access aisles, and curb radii per the requirements of Article 10, Part I.
- The total quantity of parking spaces required and the total quantity of parking spaces provided. Indicate uses of buildings.
- Sight distance triangles (minimum 10' by 70' for driveway intersections at ROW lines; or as per NCDOT requirements or Town of Smithfield UDO Section 2.21 at all other intersections)
- Location of all proposed structures, including their outside dimensions and elevations, streets, entrances and exits on the site.
- Sidewalks, trails and other pedestrian ways with locations, dimensions and surfacing, including handicap curb cuts. Internal sidewalks and/or other proposed means of pedestrian access (note: internal pedestrian access should connect with public ROW sidewalk).
- General location and design of proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel, as applicable
- Proposed other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- Location of all US Clean Water Act Section 404 wetland areas, detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- Location of all proposed common areas.
- All parcels of land proposed to be designated, dedicated and/or reserved, for public or private use, shown with total land area and boundary descriptions.
- Distance between buildings and height of buildings.
- Building locations, footprints, entrances area by floor (sq.ft.), finished floor elevation (first).
- Location, dimensions, and details of signs per the requirements of Article 10, Part III.
- Proposed building elevations and floor plans, if applicable.
- Conceptual traffic impact analysis.
- Conceptual grading plan: proposed contours with a maximum of two-foot contour intervals within 100 feet of all buildings and along all driveways, entrances, exits, private streets, parking areas, loading areas, retaining walls and a maximum of ten-foot contour intervals for the remainder of the property. Supplement with spot elevations where necessary. All topography should be referred to permanent benchmarks and referenced to accepted datum.
- Conceptual stormwater management provisions.
- Total impervious surface square footage and percentage calculations for all development.
- Conceptual site lighting plan:
- Dumpster (or any other trash handling facilities) location, proposed screening labeled with height material, dimensions of concrete pad and details of gates, including support. Any dumpster to be used for recycling should be labeled as such.
- Landscape Plan: Include the genus and species, common name, quantity, size and location of all plant material proposed to meet Article 10, Part II requirements. The plan must include a "plant list" (in chart form), which should be coded to the plan. Show all calculations used to determine the quantity of plants required. All proposed planting, should be coordinated with both the utility plan and the grading/storm drainage plan to eliminate conflicts. No landscaping allowed in water or sewer easements.
- Description of all fences, walls and/or berms used to fulfill landscaping or screening requirements with details and cross-sections as needed (all fences over 6 feet must be sealed by a licensed Engineer).

Project summary:

The proposed Buffalo Ridge Subdivision is a +/- 139 acre site proposing single-family lots. The roads are designed as local residential streets. There are four (4) proposed entrances, two (2) main entrances off Buffalo Road and two auxiliary entrances off Holland Road. The proposed subdivision will include extensive open space areas (approximately 93 acres), primarily on the lower half of the property toward the Neuse River, to take advantage of the picturesque slopes and gradient change of the property. The proposal of public sewer is connecting to the towns existing sewer system that is located on site adjacent to the town of Smithfield's greenway trail. Public water is available via an extending 12" water main along Buffalo Road.

Owner:

Smithfield Land Group, LLC
2075 Juniper Lake Road
West End, NC 27376
910-944-0881

Site information:

1041 Buffalo Road
Current Zoning – R-20A
Acreage – 139.9 ac (6,094,044 sf)
Pin # - 169411-65-0647

Subdivision information:

Name – Buffalo Ridge Subdivision
Proposed lots – 210 with an average lot size of approximately 68
Open space – 93 ac
Proposed ROW – 12.9 ac

Density:

The proposed density of the project is 1.5 lots/ac. This is determined by dividing the 210 lots by 139.9 ac.

Utilities:

The subdivision will be served by public water and sewer and public streets. There are 9,794 lf of new streets, 17,713 lf of new sidewalk, 9,440 lf of new water main and 8,262 lf of new sewer main. Sidewalks are proposed on both side of the new streets. Walking trails and benches will be placed along the perimeter of the new storm ponds. The proposed 210 lots will require 47,250 gpd of sewer allocation.

Neighboring Parcels Narrative

This area is a growing residential area with a 30 home residential neighborhood slightly North of the proposed development. A previous rezoning application (CZ-23-01) held a neighborhood meeting. Comments documented in that public hearing will be utilized to address neighboring concerns. No issues are anticipated. The developer is willing to work with planning staff, planning board, and county commissioners to ensure all issues are addressed in a reasonable manner which **includes leaving as much of the current natural buffer as possible between the new development and existing houses on Holland Drive.**

Conflicts of nearby land use

The nearby land uses are a variety of residential uses. The proposed development is consistent with the Comprehensive Growth Management plan and compatible with surrounding land uses. The proposed development will adhere to all UDO development standards. Impacts to wetlands will be limited to road crossings required for access.

Development Burden

Buffalo Road is a NCDOT street. The two access points and associated improvements as a result of the proposed development will be coordinated with NCDOT. Some road improvements are anticipated and will be resolved during the design phase of the project. There is a current project ongoing to free up additional sewer capacity. **Developer will apply for sewer capacity for the entirety of the development project at the outset, unless directed otherwise by the County.** Fire flow testing will be completed to confirm that water is available not only for fire flow but domestic flow as well. Excessive burdens are not anticipated on the school system or emergency services.

Storm Water Management

The impervious area for the project is 24% which does not trigger storm water retention on site. However, we are planning on constructing two storm water ponds. The storm water will be collected in curb inlets and drainage inlets throughout the development and transported to the storm ponds through and underground pipe system. The storm ponds will be sized to mitigate the 10 yr storm event meaning the post development runoff from the 10 yr storm will be less than or equal to the predevelopment runoff. The drawings show a site plan only and the pond locations and size are conceptual. The final sizes and locations may differ on the construction drawings when the grading and drainage are completed for the development.

There is a 100 yr floodplain on the property where lots are being proposed. The grading plan will show the lots that are within the floodplain to be elevated where the FFE of the new homes will be 2' above flood elevation as required by code. The roads may be around the 100 yr floodplain elevation and will not be raised 2' above the floodplain. The storm drainage system is required to be sized for a 10 yr storm so elevating the roads above the flood elevation is not critical compared to the new homes.

Open Spaces/Proposed Ownership & Maintenance

Approximately 93 acres of this proposed development will be open space. For this development, a homeowners association (HOA) will be established and responsible for maintaining this area.

Project schedule

Surveying, civil engineering design and permitting is expected to take about 1 year. Construction will begin on Phase I following acquisition of the required permits. Developer will apply for sewer capacity for the entirety of the development project at the outset, unless directed otherwise by the County. Total build out is anticipated to be around 5 years but the economy status will control how quickly the development is constructed.

UDO deviations

Requesting reduction of lot width from 70' to 50'. Requesting a lot size reduction from 8,000 sf to 6,000 sf. **The plan being presented has an average lot size of approximately 6850 square feet lots with the back phase (lots 40-103) having an average lot size of 7214 square feet.** Revised setbacks are as follows: **front setbacks: 25'**, rear – 12' and side – 5'. **The minimum corner side yard setback shall equal to the minimum front setback. Lots backing up to Holland Drive will have 25' rear setbacks and maintain as much natural vegetation as feasible.**

List of Improvements that exceed the town's minimum UDO requirements

Sidewalks are required on one side of new streets. Sidewalks are being proposed on both sides of the new streets. **Valley curbs will not be used in the development.** The applicant is open to all suggestions and feedback from planning staff and planning board about improvements that are viewed as favorable for this development project. **In the event wet ponds are required in the development, they must be aerated.**

Expected Sale Price

Homes in this proposed development will be 3-bedroom and range from \$300,000 - \$375,000.

Architectural Standards

All Lots:

- A combination will be required of no less than two (2) materials on the front facade of all homes.
- All front facades will include no less than 10% of either one (1) of the following materials; brick, stone, or substantially similar substitute material.

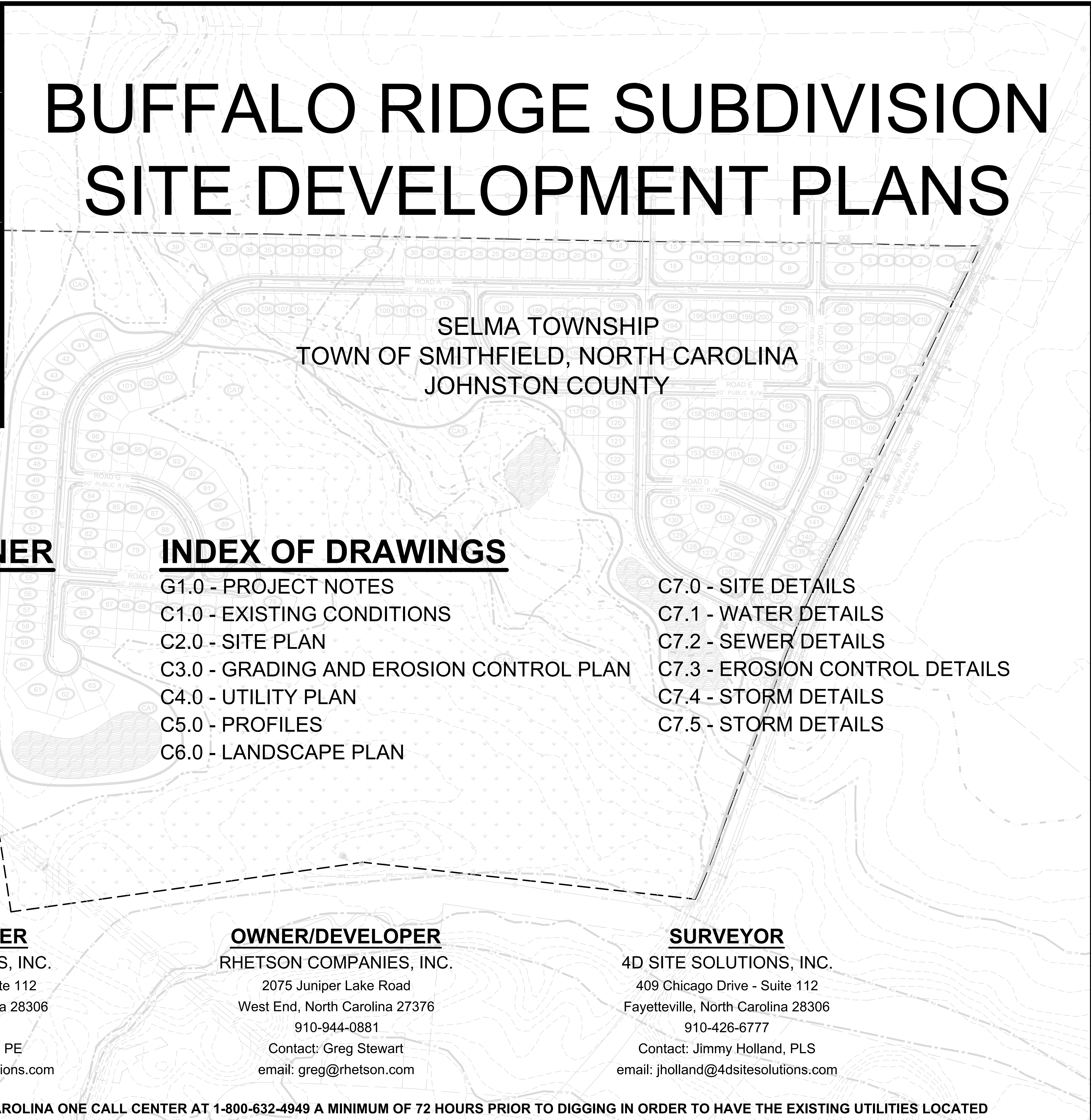
Corner Lots:

- All corner lots will be required to have no less than one (1) window on each visible side of the residence.
- The applicant will present visual representation of elevations that meet the above standards.

BUFFALO RIDGE SUBDIVISION SITE DEVELOPMENT PLANS



VICINITY MAP
 NOT TO SCALE



EXISTING UTILITY OWNER

WATER AND SEWER
 SMITHFIELD PUBLIC UTILITIES
 230 Hospital Road
 Smithfield, North Carolina 27577
 919-934-2116
 Contact: Ted Credle, PE



Know what's below.
 Call before you dig.

INDEX OF DRAWINGS

- G1.0 - PROJECT NOTES
- C1.0 - EXISTING CONDITIONS
- C2.0 - SITE PLAN
- C3.0 - GRADING AND EROSION CONTROL PLAN
- C4.0 - UTILITY PLAN
- C5.0 - PROFILES
- C6.0 - LANDSCAPE PLAN
- C7.0 - SITE DETAILS
- C7.1 - WATER DETAILS
- C7.2 - SEWER DETAILS
- C7.3 - EROSION CONTROL DETAILS
- C7.4 - STORM DETAILS
- C7.5 - STORM DETAILS

CIVIL ENGINEER
 4D SITE SOLUTIONS, INC.
 409 Chicago Drive - Suite 112
 Fayetteville, North Carolina 28306
 910-426-6777
 Contact: Scott Brown, PE
 email: sbrown@4dsitesolutions.com

OWNER/DEVELOPER
 RHETSON COMPANIES, INC.
 2075 Juniper Lake Road
 West End, North Carolina 27376
 910-944-0881
 Contact: Greg Stewart
 email: greg@rhetson.com

SURVEYOR
 4D SITE SOLUTIONS, INC.
 409 Chicago Drive - Suite 112
 Fayetteville, North Carolina 28306
 910-426-6777
 Contact: Jimmy Holland, PLS
 email: jholland@4dsitesolutions.com

REVISIONS

PRELIMINARY PLAT
 NOT FOR RECORDATION, CONVEYANCE, OR SALES

PROJECT NAME

**BUFFALO
 RIDGE
 SUBDIVISION**

PIN: 169411-65-0647
 BUFFALO ROAD
 SELMA TOWNSHIP
 TOWN OF SMITHFIELD
 JOHNSTON COUNTY
 NORTH CAROLINA

CLIENT

**RHETSON
 COMPANIES, INC**

2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

PROJECT INFORMATION

| | |
|-----------------|-------|
| DESIGNED BY: | CALEB |
| DRAWN BY: | CALEB |
| CHECKED BY: | SCOTT |
| PROJECT NUMBER: | 2070 |

DRAWING SCALE

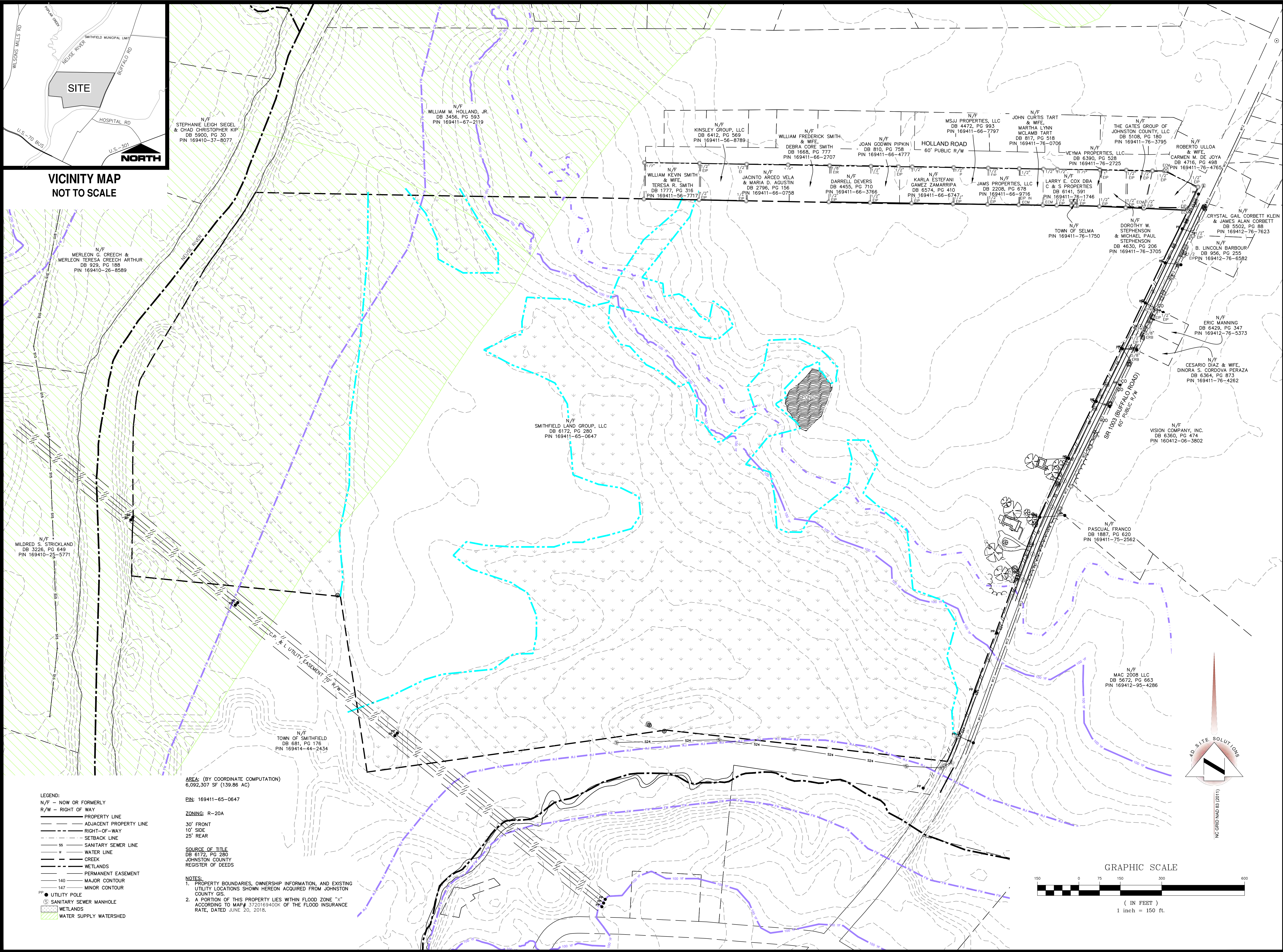
SEE SHEETS

DATE RELEASED

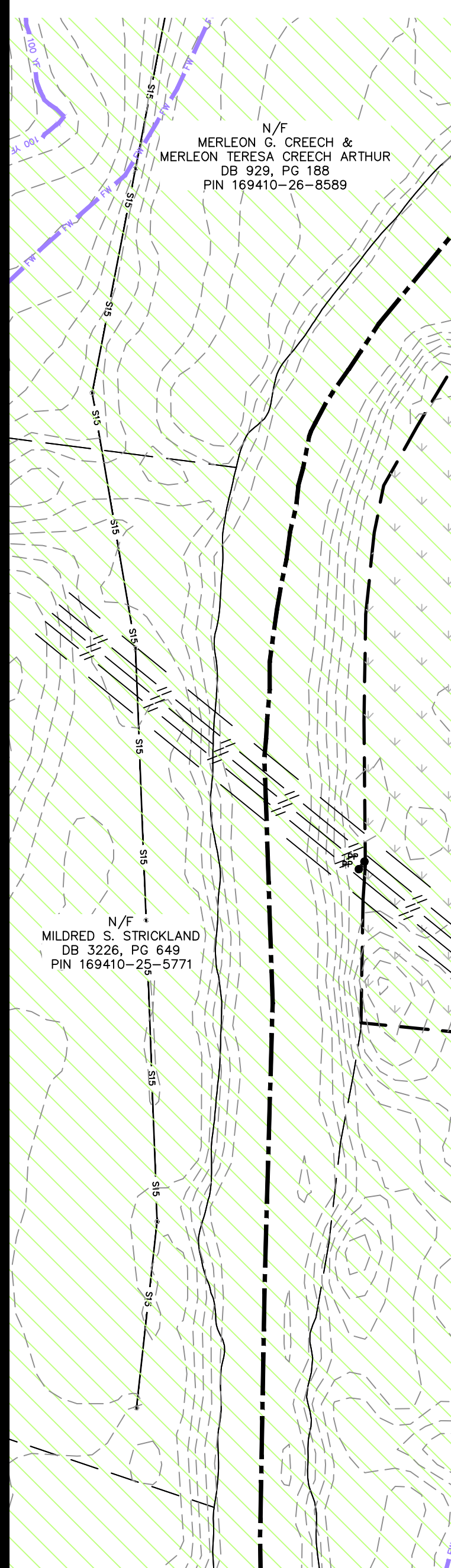
MAY 21, 2024

THE CONTRACTOR MUST CONTACT NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 A MINIMUM OF 72 HOURS PRIOR TO DIGGING IN ORDER TO HAVE THE EXISTING UTILITIES LOCATED

I:\Projects\2025\20250515_Smithfield_Land\Drawings\CDL\20250515_Smithfield_Land.dwg - 4/21/2024 2:44:41 PM



VICINITY MAP
NOT TO SCALE



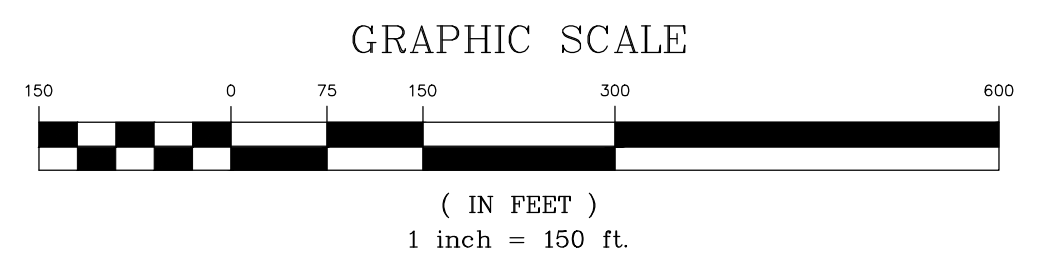
- LEGEND:**
 N/F - NOW OR FORMERLY
 R/W - RIGHT OF WAY
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - RIGHT-OF-WAY
 - - - SETBACK LINE
 - SS SANITARY SEWER LINE
 - W WATER LINE
 - CREEK
 - WETLANDS
 - PERMANENT EASEMENT
 - 140 MAJOR CONTOUR
 - 147 MINOR CONTOUR
 - PP ● UTILITY POLE
 - SANITARY SEWER MANHOLE
 - WETLANDS
 - WATER SUPPLY WATERSHED

AREA: (BY COORDINATE COMPUTATION)
6,092,307 SF (139.86 AC)

PIN: 169411-65-0647
 ZONING: R-20A
 30' FRONT
 10' SIDE
 25' REAR

SOURCE OF TITLE
 DB 6172, PG 280
 JOHNSTON COUNTY
 REGISTER OF DEEDS

- NOTES:**
- PROPERTY BOUNDARIES, OWNERSHIP INFORMATION, AND EXISTING UTILITY LOCATIONS SHOWN HEREON ACQUIRED FROM JOHNSTON COUNTY GIS.
 - A PORTION OF THIS PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO MAP # 3720169400K OF THE FLOOD INSURANCE RATE, DATED JUNE 20, 2016.



REVISIONS

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES

PROJECT NAME

**BUFFALO
RIDGE
SUBDIVISION**

EXISTING
CONDITIONS

CLIENT

**RHETSON
COMPANIES, INC**

2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

PROJECT INFORMATION

| | |
|-----------------|-------|
| SURVEYED BY: | MIKE |
| DRAWN BY: | CALEB |
| CHECKED BY: | SEAN |
| PROJECT NUMBER: | 2070 |

DRAWING SCALE

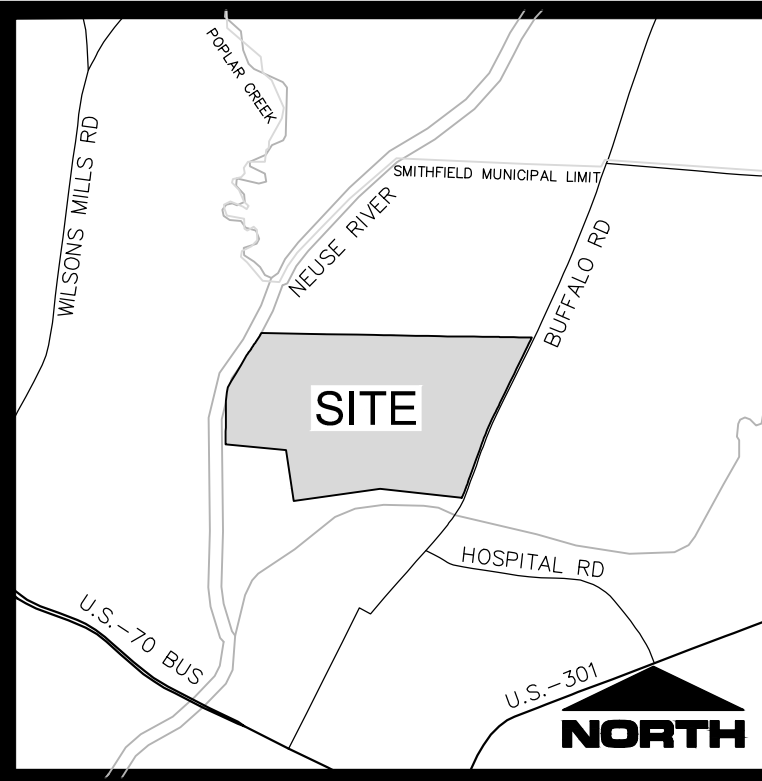
HORIZONTAL: 1"=150'

DATE SURVEYED

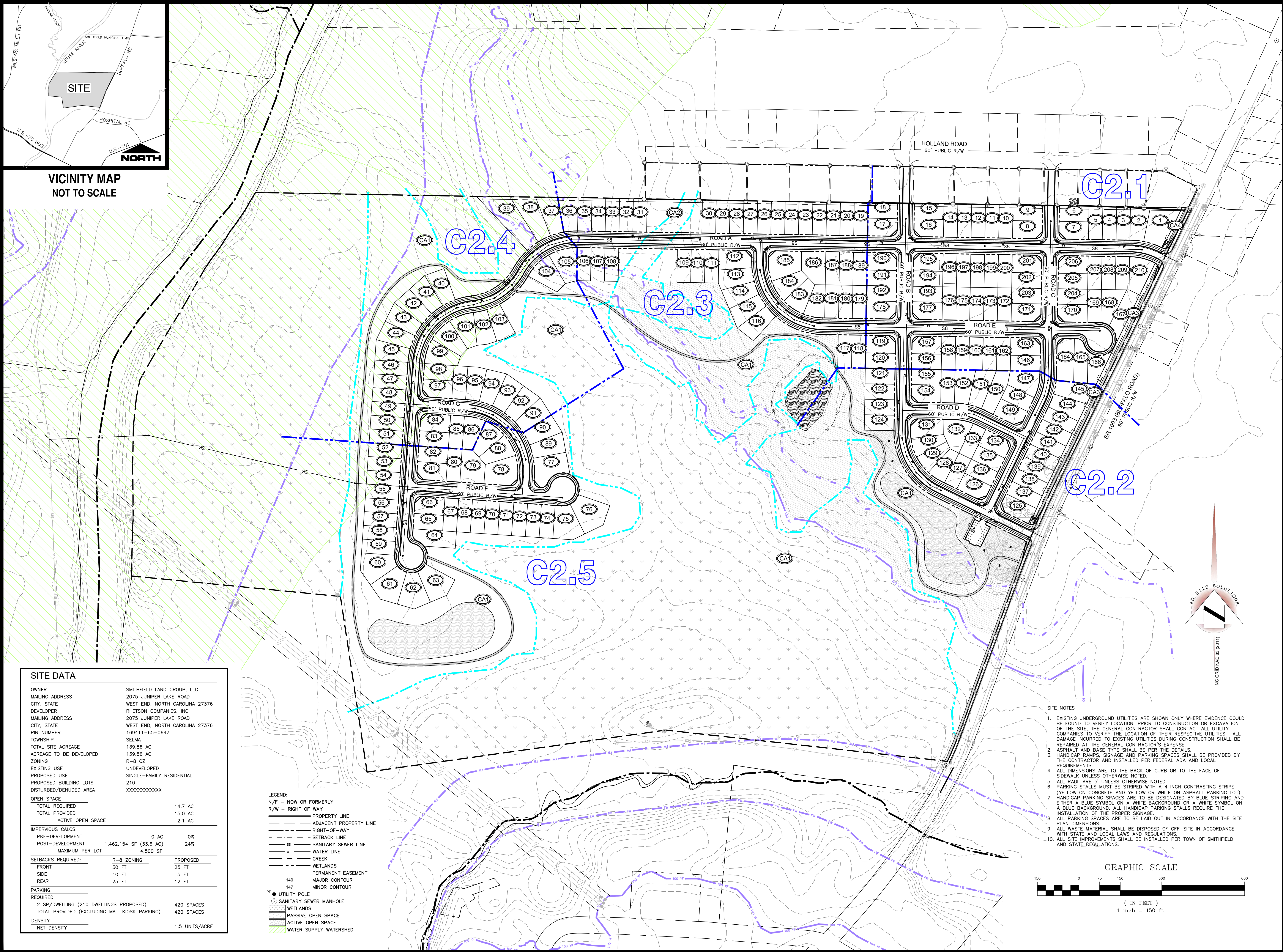
APRIL 24, 2024

SHEET NUMBER

C-1.0



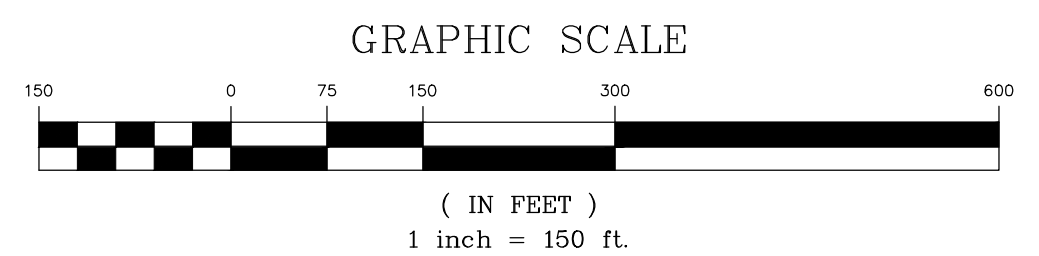
VICINITY MAP
NOT TO SCALE



| SITE DATA | | | |
|---|--------------------------------|------------|--|
| OWNER | SMITHFIELD LAND GROUP, LLC | | |
| MAILING ADDRESS | 2075 JUNIPER LAKE ROAD | | |
| CITY, STATE | WEST END, NORTH CAROLINA 27376 | | |
| DEVELOPER | RHETSON COMPANIES, INC | | |
| MAILING ADDRESS | 2075 JUNIPER LAKE ROAD | | |
| CITY, STATE | WEST END, NORTH CAROLINA 27376 | | |
| PIN NUMBER | 169411-65-0647 | | |
| TOWNSHIP | SELMA | | |
| TOTAL SITE ACREAGE | 139.86 AC | | |
| ACREAGE TO BE DEVELOPED | 139.86 AC | | |
| ZONING | R-8 C2 | | |
| EXISTING USE | UNDEVELOPED | | |
| PROPOSED USE | SINGLE-FAMILY RESIDENTIAL | | |
| PROPOSED BUILDING LOTS | 210 | | |
| DISTURBED/DENUDED AREA | XXXXXXXXXXXX | | |
| OPEN SPACE | | | |
| TOTAL REQUIRED | 14.7 AC | | |
| TOTAL PROVIDED | 15.0 AC | | |
| ACTIVE OPEN SPACE | 2.1 AC | | |
| IMPERVIOUS CALCS: | | | |
| PRE-DEVELOPMENT | 0 AC | 0% | |
| POST-DEVELOPMENT | 1,462,154 SF (33.6 AC) | 24% | |
| MAXIMUM PER LOT | 4,500 SF | | |
| SETBACKS REQUIRED: | | | |
| | R-8 ZONING | PROPOSED | |
| FRONT | 30 FT | 25 FT | |
| SIDE | 10 FT | 5 FT | |
| REAR | 25 FT | 12 FT | |
| PARKING: | | | |
| REQUIRED | | 420 SPACES | |
| 2 SP/DWELLING (210 DWELLINGS PROPOSED) | | 420 SPACES | |
| TOTAL PROVIDED (EXCLUDING MAIL KIOSK PARKING) | | 420 SPACES | |
| DENSITY | | | |
| NET DENSITY | 1.5 UNITS/ACRE | | |

| LEGEND: | |
|---------|--------------------------|
| N/F | — NOW OR FORMERLY |
| R/W | — RIGHT OF WAY |
| — | — PROPERTY LINE |
| — | — ADJACENT PROPERTY LINE |
| — | — RIGHT-OF-WAY |
| — | — SETBACK LINE |
| — | — SANITARY SEWER LINE |
| — | — WATER LINE |
| — | — CREEK |
| — | — WETLANDS |
| — | — PERMANENT EASEMENT |
| — | — 140 MAJOR CONTOUR |
| — | — 147 MINOR CONTOUR |
| PP | ● UTILITY POLE |
| ○ | ○ SANITARY SEWER MANHOLE |
| ■ | ■ WETLANDS |
| ■ | ■ PASSIVE OPEN SPACE |
| ■ | ■ ACTIVE OPEN SPACE |
| ■ | ■ WATER SUPPLY WATERSHED |

- SITE NOTES
- EXISTING UNDERGROUND UTILITIES ARE SHOWN ONLY WHERE EVIDENCE COULD BE FOUND TO VERIFY LOCATION. PRIOR TO CONSTRUCTION OR EXCAVATION OF THE SITE, THE GENERAL CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF THEIR RESPECTIVE UTILITIES. ALL DAMAGE INCURRED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE.
 - ASPHALT AND BASE TYPE SHALL BE PER THE DETAILS.
 - HANDICAP RAMPS, SIGNAGE AND PARKING SPACES SHALL BE PROVIDED BY THE CONTRACTOR AND INSTALLED PER FEDERAL ADA AND LOCAL REQUIREMENTS.
 - ALL DIMENSIONS ARE TO THE BACK OF CURB OR TO THE FACE OF SIDEWALK UNLESS OTHERWISE NOTED.
 - ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
 - PARKING STALLS MUST BE STRIPED WITH A 4 INCH CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR WHITE ON ASPHALT PARKING LOT).
 - HANDICAP PARKING SPACES ARE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING SPACES REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
 - ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE SITE PLAN DIMENSIONS.
 - ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
 - ALL SITE IMPROVEMENTS SHALL BE INSTALLED PER TOWN OF SMITHFIELD AND STATE REGULATIONS.



REVISIONS

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES

PROJECT NAME

**BUFFALO
RIDGE
SUBDIVISION**

OVERALL
SITE PLAN

CLIENT

**RHETSON
COMPANIES, INC**

2075 Juniper Lake Road
West End, North Carolina 27376
Phone: (910) 944-0881

PROJECT INFORMATION

| | |
|-----------------|-------|
| DESIGNED BY: | CALEB |
| DRAWN BY: | CALEB |
| CHECKED BY: | SCOTT |
| PROJECT NUMBER: | 2070 |

DRAWING SCALE

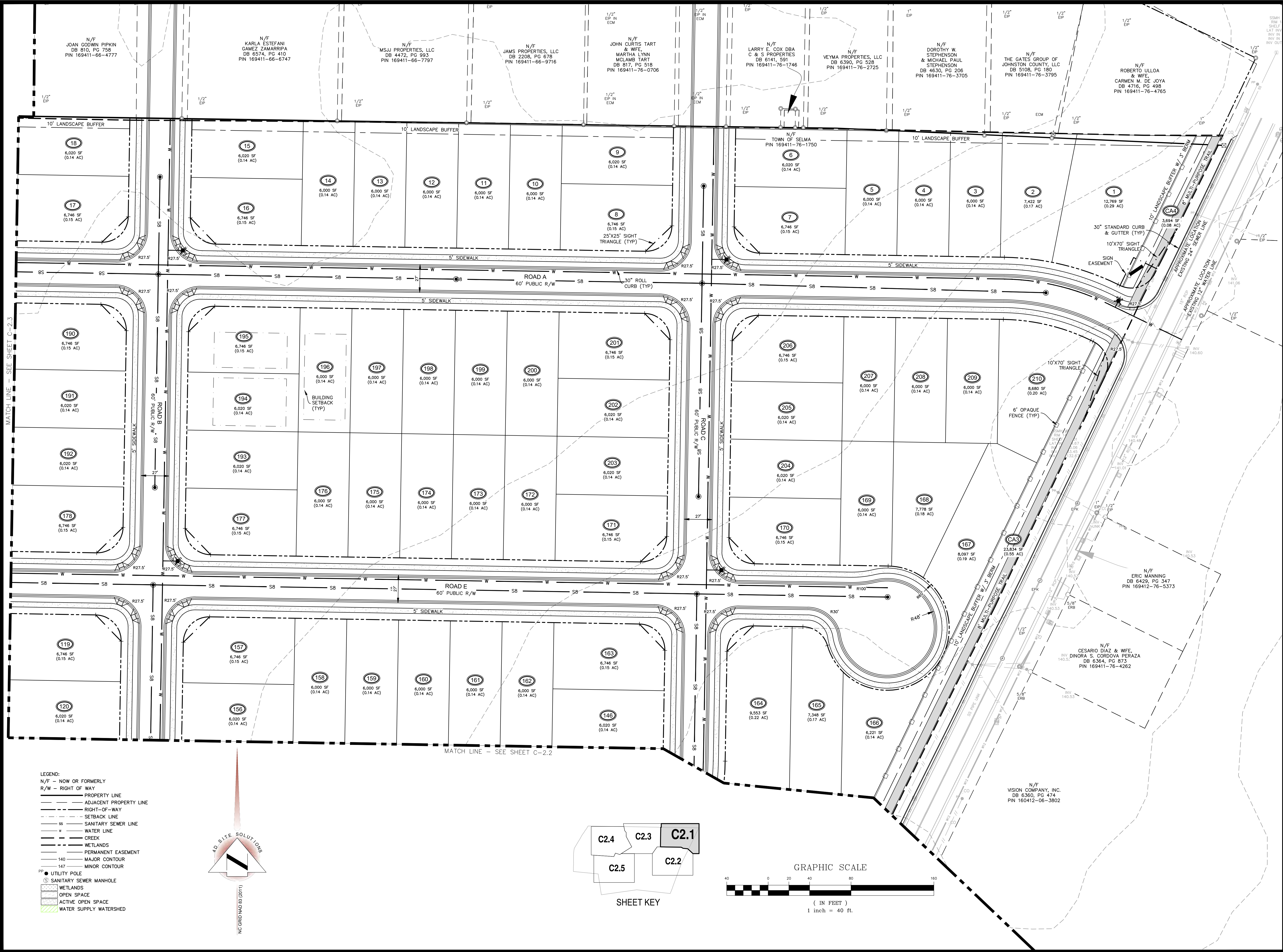
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DATE RELEASED

MAY 21, 2024

SHEET NUMBER

C-2.0



REVISIONS

PRELIMINARY PLAT
 NOT FOR RECORDATION, CONVEYANCE, OR SALES

PROJECT NAME

**BUFFALO
 RIDGE
 SUBDIVISION**

DETAILED
 SITE PLAN

CLIENT

**RHETSON
 COMPANIES, INC**

2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

PROJECT INFORMATION

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| DESIGNED BY: | CALEB |
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| PROJECT NUMBER: | 2070 |

DRAWING SCALE

HORIZONTAL: 1"=40'

DATE RELEASED

MAY 21, 2024

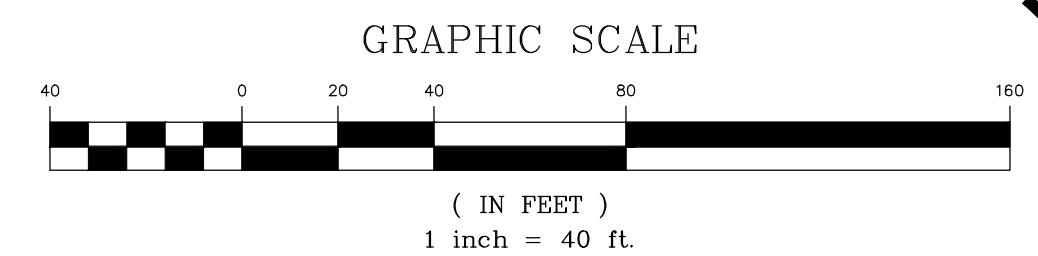
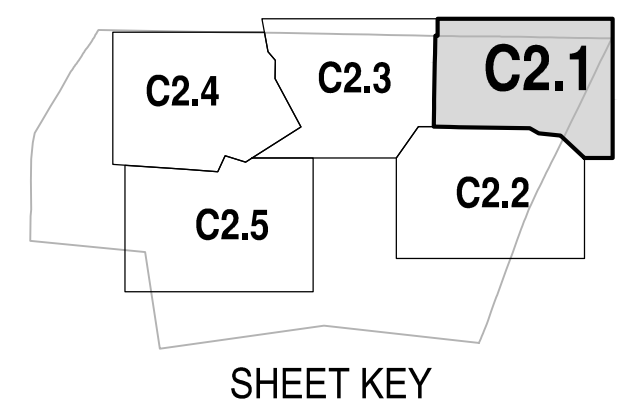
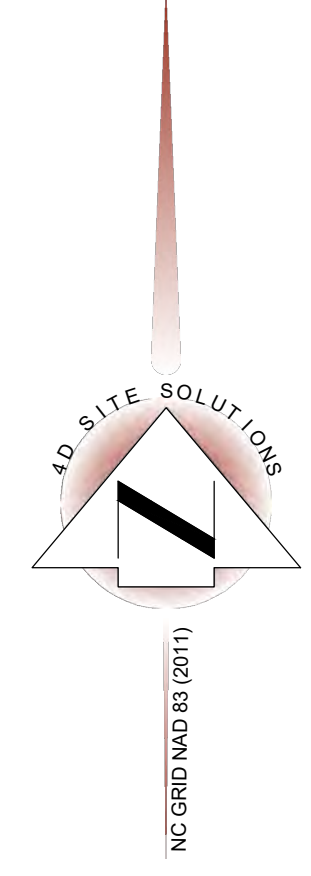
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C-2.1

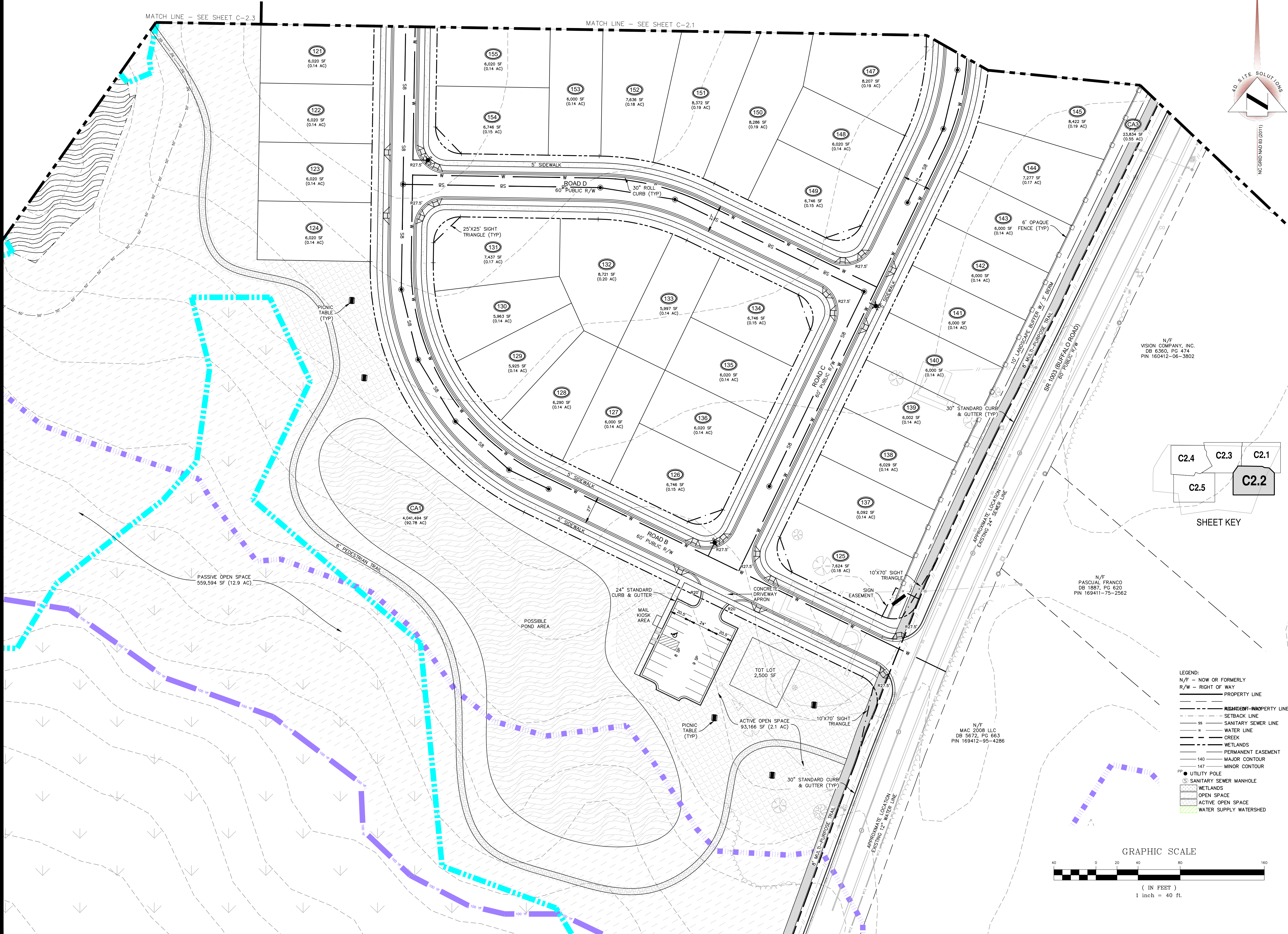
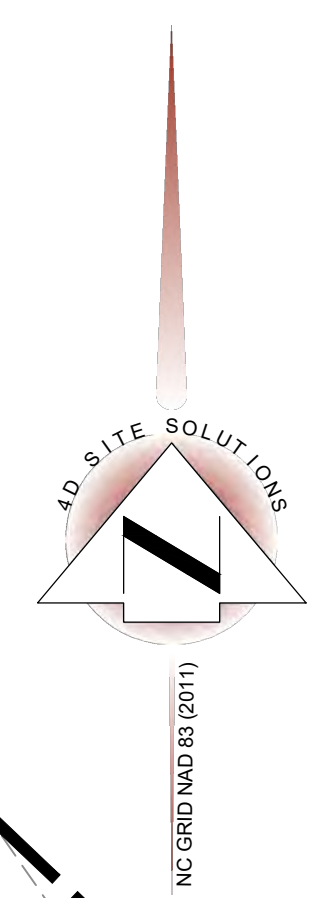
MATCH LINE - SEE SHEET C-2.3

MATCH LINE - SEE SHEET C-2.2

- LEGEND:
- N/F - NOW OR FORMERLY
 - R/W - RIGHT OF WAY
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - RIGHT-OF-WAY
 - SETBACK LINE
 - SS SANITARY SEWER LINE
 - # WATER LINE
 - CREEK
 - WETLANDS
 - PERMANENT EASEMENT
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - PP UTILITY POLE
 - SANITARY SEWER MANHOLE
 - WETLANDS
 - OPEN SPACE
 - ACTIVE OPEN SPACE
 - WATER SUPPLY WATERSHED



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REVISIONS

PRELIMINARY PLAT
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PROJECT NAME

**BUFFALO
 RIDGE
 SUBDIVISION**

DETAILED
 SITE PLAN

CLIENT

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2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

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| CHECKED BY: | SCOTT |
| PROJECT NUMBER: | 2070 |

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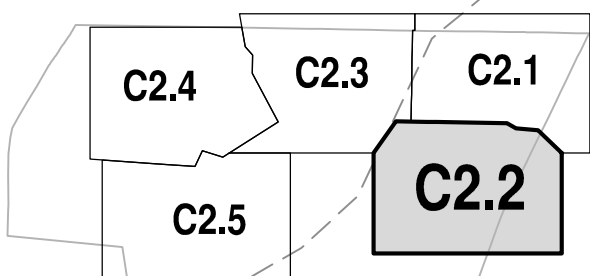
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DATE RELEASED

MAY 21, 2024

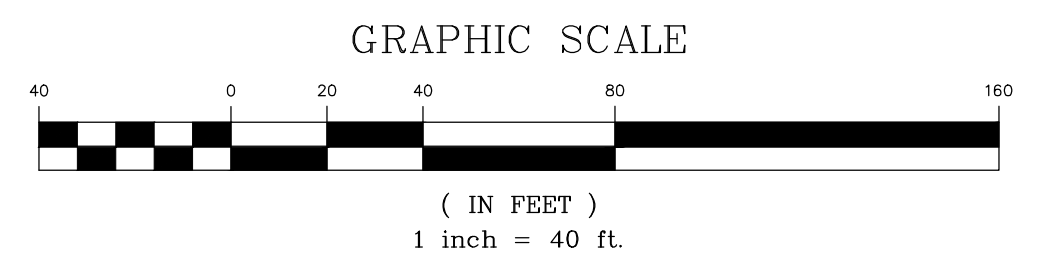
SHEET NUMBER

C-2.2



SHEET KEY

- LEGEND:
- N/F - NOW OR FORMERLY
 - R/W - RIGHT OF WAY
 - PROPERTY LINE
 - EASEMENT-PROPERTY LINE
 - - - - - SETBACK LINE
 - SS - SANITARY SEWER LINE
 - W - WATER LINE
 - CREEK
 - WETLANDS
 - PERMANENT EASEMENT
 - 140 - MAJOR CONTOUR
 - 147 - MINOR CONTOUR
 - PP - UTILITY POLE
 - ⊙ - SANITARY SEWER MANHOLE
 - WETLANDS
 - OPEN SPACE
 - ACTIVE OPEN SPACE
 - WATER SUPPLY WATERSHED



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REVISIONS

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PROJECT NAME

**BUFFALO
 RIDGE
 SUBDIVISION**

DETAILED
 SITE PLAN

CLIENT

**RHETSON
 COMPANIES, INC**

2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

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| DESIGNED BY: | CALEB |
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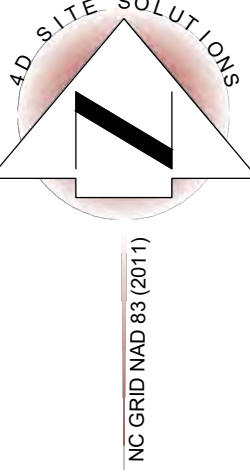
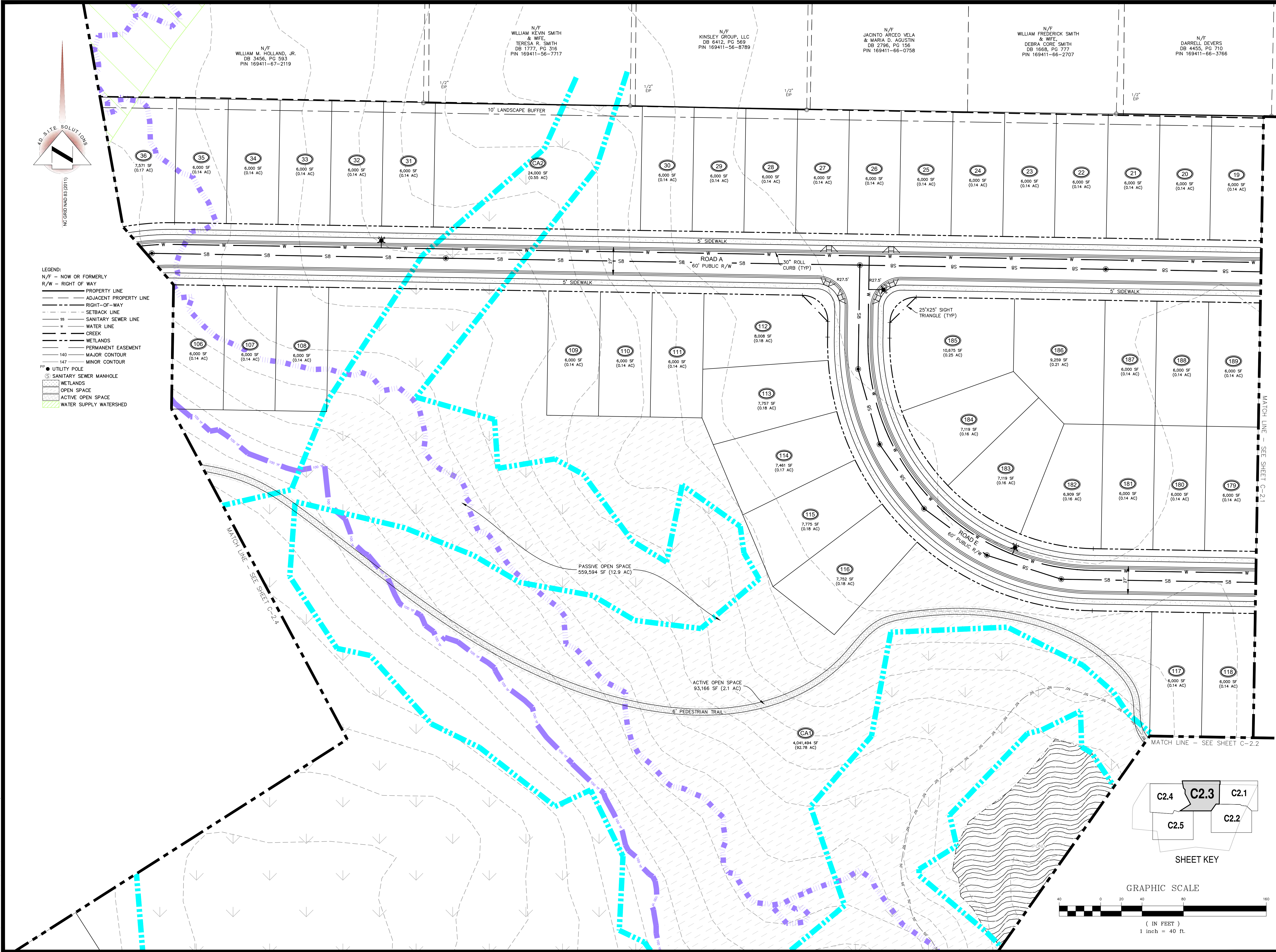
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DATE RELEASED

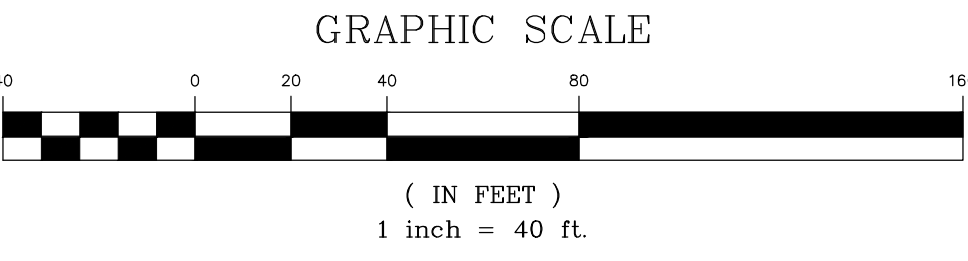
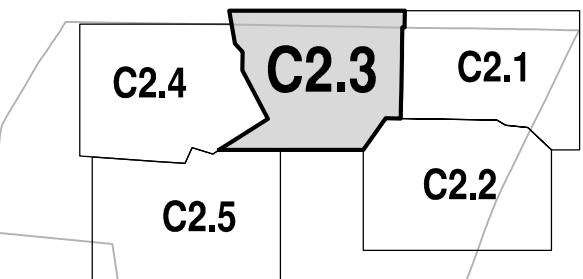
MAY 21, 2024

SHEET NUMBER

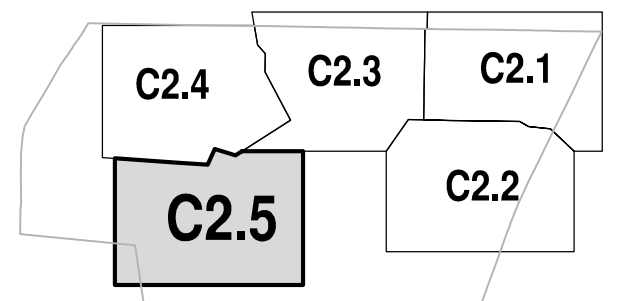
C-2.3



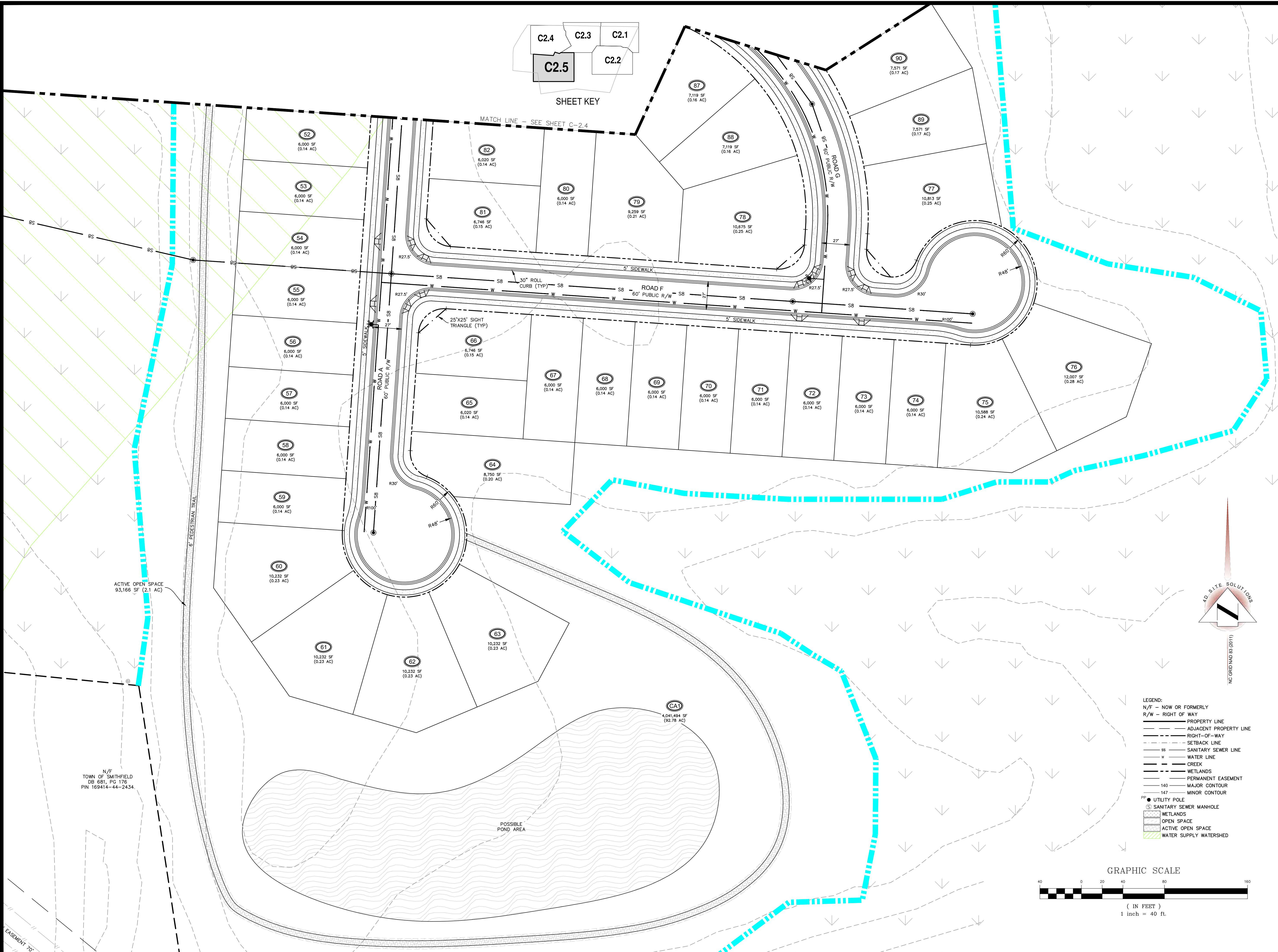
- LEGEND:
- N/F - NOW OR FORMERLY
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 - SANITARY SEWER MANHOLE
 - WETLANDS
 - OPEN SPACE
 - ACTIVE OPEN SPACE
 - WATER SUPPLY WATERSHED



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SHEET KEY



REVISIONS

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES

PROJECT NAME

**BUFFALO
 RIDGE
 SUBDIVISION**

DETAILED
 SITE PLAN

CLIENT

**RHETSON
 COMPANIES, INC**

2075 Juniper Lake Road
 West End, North Carolina 27376
 Phone: (910) 944-0881

PROJECT INFORMATION

| | |
|-----------------|-------|
| DESIGNED BY: | CALEB |
| DRAWN BY: | CALEB |
| CHECKED BY: | SCOTT |
| PROJECT NUMBER: | 2070 |

DRAWING SCALE

HORIZONTAL: 1"=40'

DATE RELEASED

MAY 21, 2024

SHEET NUMBER

C-2.5

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**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-24-05**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE IS ADOPTED,

That the final action regarding zoning map amendment CZ-24-05 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public meeting; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public meeting. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE FAILS,

That the final action regarding zoning map amendment CZ-24-05 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.

Buffalo Ridge (Revised) Adjacents List CZ-24-05

| ParcelID | Name1 | Name2 | Address1 | Address2 | CityStateZip |
|-----------|---|---------------------------------|-------------------------------|-------------|-------------------------------|
| 14A01004 | FULLER, CECIL RAY | | 100 HOLLAND DR | | SMITHFIELD, NC 27577-7257 |
| 14A03006 | FRANCO, PASCUAL | | 1020 BUFFALO ROAD | | SMITHFIELD, NC 27577-7447 |
| 14075038T | HINNANT, WILLARD B JR | HINNANT, MARGARET A | 110 CYPRESS PT | | SMITHFIELD, NC 27577-8387 |
| 14075006A | SIMMONS, ALEXANDER L | SIMMONS, HELEN L | 110 EVERETT LANE | | SMITHFIELD, NC 27577-5570 |
| 14075007 | SIMMONS, ALEXANDER L. | | 110 EVERETTE LN | | SMITHFIELD, NC 27577-5570 |
| 14A01019 | COX, LARRY E. DBA | C & S PROPERTIES | 110 WILSONS MILLS RD | | SMITHFIELD, NC 27577-3229 |
| 14A03004 | DIAZ, CESARIO | PERAZA, DINORA S CORDOVA | 1136 BUFFALO RD | | SMITHFIELD, NC 27577 |
| 14A03004A | MANNING, ERIC | | 1148 BUFFALO RD | | SMITHFIELD, NC 27577 |
| 14A01005 | TORRES, MANUEL DE JESUS GARCIA | | 120 HOLLAND DR | | SMITHFIELD, NC 27577-7257 |
| 14A01017 | MSJJ PROPERTIES LLC | | 1212 CHESNUT DR | | SMITHFIELD, NC 27577-0000 |
| 14A03002 | BARBOUR, B LINCOLN | | 1222 BUFFALO RD | | SMITHFIELD, NC 27577-7443 |
| 14A01020 | ULLOA, ROBERTO | DE JOYA, CARMEN M | 1247 BUFFALO RD | | SMITHFIELD, NC 27577 |
| 14075003A | SIMMONS, AMOS D. JR. LIFE ESTATE | SIMMONS, BETTY E. LIFE ESTATE | 125 EVERETTE LN | | SMITHFIELD, NC 27577-5570 |
| 14075035 | STEVEN, JOSE JR. | GORILLA BROADCASTING NC LLC | 1270 BUFFALO RD | | SMITHFIELD, NC 27577-7443 |
| 14A01018 | TART, MARTHA LYNN MCLAMB | | 131 HOLLAND DR | | SMITHFIELD, NC 27577-7257 |
| 14075003 | SIMMONS, DANIEL C. | SIMMONS, MARCELLA K. | 1325 FOUR WINDS DR | | RALEIGH, NC 27615-4424 |
| 15082015 | SIEGEL, STEPHANIE LEIGH JOINT TENANTS (WRO: KIP, CHAD CHRISTOPHER JOINT TENAN | | 133 CASTLE DR | | SMITHFIELD, NC 27577-3502 |
| 14075038K | HART, STEPHEN J | HART, REBECCA A | 1374 BUFFALO RD | | SMITHFIELD, NC 27577-0000 |
| 14A01015 | JACKSON, KIMBERLY C | | 140 HOLLAND DR | | SMITHFIELD, NC 27577-0000 |
| 14A01006 | DE LA CRUZ, REYNALDO | | 180 HOLLAND DRIVE | | SMITHFIELD, NC 27577-7257 |
| 14A01017A | ZAMARRIPA, KARLA ESTEFANI GAMEZ | | 189 HOLLAND DR | | SMITHFIELD, NC 27577-7257 |
| 14075038A | L M R RENTALS | | 201 S BRIGHTLEAF BLVD #1 | | SMITHFIELD, NC 27577-4077 |
| 14075038 | L M R RENTAL | | 201 S BRIGHTLEAF BLVD SUITE 1 | | SMITHFIELD, NC 27577-0000 |
| 14A01007 | PETERSON, NATHAN D | | 204 HOLLAND DR | | SMITHFIELD, NC 27577-7217 |
| 14001021 | SMITHFIELD LAND GROUP, LLC | | 2075 JUNIPER LAKE RD | | WEST END, NC 27376-8919 |
| 14A01019A | VEYMA PROPERTIES, LLC | | 2121 SOARING EAGLE CT | | WENDELL, NC 27591-7669 |
| 14A01002 | FIRST CAROLINA TRUST, LLC | | 2200 SHADY BIRCH LN | | GARNER, NC 27529-5049 |
| 14001001 | HOLLAND, WILLIAM M JR | | 228 WILLOWICK AVE | | TEMPLE TERRACE, FL 33617-0000 |
| 14075010 | JOHNSTON CO BOARD OF EDUCATION | | 2320 BUS US 70 E | PO BOX 1336 | SMITHFIELD, NC 27577-0000 |
| 14A01016 | PIPKIN, JOAN GODWIN | | 239 HOLLAND DR | | SMITHFIELD, NC 27577-0000 |
| 14A01022 | DEVERS, DARRELL | | 243 HOLLAND DR | | SMITHFIELD, NC 27577-7217 |
| 14A01009 | BALAGOT, VINTON ANCHETA | KROEPLIN, MICHAEL JOHN | 260 HOLLAND DR | | SMITHFIELD, NC 27577-7217 |
| 14A03007 | MAC 2008 LLC | | 2790 MARRIOTTSVILLE RD | | MARRIOTTSVL, MD 21104-1626 |
| 14N99001A | GATES GROUP OF JOHNSTON COUNTY, LLC | | 300 CITATION LN | | SMITHFIELD, NC 27577-8738 |
| 14001014 | SMITH, WILLIAM FREDERICK | SMITH, DEBRA CORE | 301 HOLLAND DRIVE | | SMITHFIELD, NC 27577-7258 |
| 14075001 | HOBBY, LEANAVIA S. | HOBBY, RICKY W. | 302 EVERETTE LN | | SMITHFIELD, NC 27577-5574 |
| 14A01011 | MASSENGILL, JO ANN LIFE ESTATE | EASON, JOSEPH RICHARD REMAINDER | 306 HOLLAND DR | | SMITHFIELD, NC 27577-7258 |
| 14A01013 | VELA, JACINTO ARCEO | AGUSTIN, MARIA D | 327 HOLLAND DRIVE | | SMITHFIELD, NC 27577-0000 |
| 14A01012 | SANDERS, CHARLES | SANDERS, IDA MAE | 334 HOLLAND DR | | SMITHFIELD, NC 27577-7258 |
| 14A01025 | NAVAROLI, KRISTEN JEAN | | 356 HOLLAND DR | | SMITHFIELD, NC 27577-7258 |

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|-----------|----------------------------------|-------------------------------|---------------------------|-----------------------------|
| 14A01026 | COLE, BRIAN SMITH | COLE, MICHELLE MARIE | 388 HOLLAND DR | SMITHFIELD, NC 27577-7258 |
| 14A01024 | SMITH, WILLIAM KEVIN | SMITH, TERESA R | 389 HOLLAND DR | SMITHFIELD, NC 27577-0000 |
| 14004002A | SANTACRUZ, HATCIRI YARENNI LOPEZ | | 42 HOLLAND DR | SMITHFIELD, NC 27577-7216 |
| 14A03001 | AE&E PROPERTIES, LLC | | 5529 NC HIGHWAY 39 | SELMA, NC 27576-8529 |
| 15082002F | DAUGHTRY, BARRY CLIFTON | ATKINSON, AMY DAUGHTRY | 600 WILSONS MILLS RD | SMITHFIELD, NC 27577-3254 |
| 14A01019B | STEPHENSON, DOROTHY W | STEPHENSON, MICHAEL PAUL | 67 HOLLAND DR | SMITHFIELD, NC 27577-7216 |
| 15082009 | MILDRED S STRICKLAND TRUST | | 7620 RAINWATER RD | RALEIGH, NC 27615-3745 |
| 14A01018A | JAMS PROPERTIES LLC | | 849 PARKRIDGE DR | CLAYTON, NC 27527-5309 |
| 14075038B | BRYAN, KATHY M. | | 905 OCEAN PINES CT | N MYRTLE BCH, SC 29582-4498 |
| 14A01023 | KINSLEY GROUP, LLC | | 9220 FAIRBANKS DR STE 220 | RALEIGH, NC 27613-1406 |
| 15082005 | CREECH, MERLEON G | ARTHUR, MERLEON TERESA CREECH | PO BOX 39 | PINE LEVEL, NC 27568 |
| 14A03011A | LAMPE, GUY L. | LAMPE, ROSS W. | PO BOX 608 | SMITHFIELD, NC 27577-0608 |
| 14A01003 | ROSE, ZENA ELANIE HAMILTON | | PO BOX 2054 | SMITHFIELD, NC 27577-0000 |



PLANNING DEPARTMENT

Stephen Wensman, AICP
Planning Director

Notice of Public Meeting

Notice is hereby given that a public meeting will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, September 5th, 2024, at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

RZ-24-08 606 S Third Street: Syed Rizvi (New Vision Trust Custodian) is requesting the rezoning of 606 S. Third Street from R-8 (Single, Two, and Multi-family) to O/I (Office-Institutional). The property is located on South Third Street, 105 feet south of Rose Street and adjacent to the Armstrong Law Office.

SUP-24-03 Country Club TH: Brian Leonard (BRL Engineering) is requesting a special use permit for Country Club Townhomes, a 60-unit townhome development on 8.06 acres in the B-3 (Highway Entranceway Business District). The proposed development is located at the northwest intersection of South Brightleaf Boulevard and Country Club Road, identified by the Johnston County Tax ID#s 15J11023.

CZ-24-05 Buffalo Ridge: Smithfield Land Group, LLC., is requesting the rezoning of approximately 140 acres of land located at 1041 Buffalo Road, also identified by the Johnston County Tax ID 140001021, from R-20A to R-8 Conditional with a masterplan for a 210-lot detached single-family residential development. The property is located at 1041 Buffalo Road, north of Buffalo Creek on the west side of Buffalo Road.

All interested people are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Town of Smithfield Planning Department at (919) 934-2116 ext. 1111 or online at www.smithfield-nc.com.

Please run legal "ad" in the Johnstonian News on Wednesday, August 21st, 2024.

AFFIDAVIT OF PUBLICATION

State of Texas, County of Bexar, ss:

Hayden Lipsky, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Johnstonian News - (Johnston County), a newspaper printed and published in the City of Smithfield, County of Johnston, State of North Carolina, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:

Aug. 21, 2024

NOTICE ID: 8r7qfet4pvTzzbOfpvpT

NOTICE NAME: Planning Board 9-5-2024

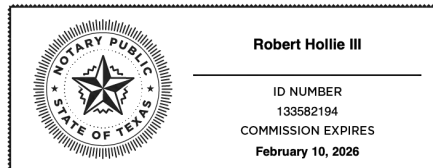
Publication Fee: 97.40

I declare under penalty of perjury under the laws of North Carolina that the foregoing is true and correct.

(Signed) Hayden Lipsky

VERIFICATION

State of Texas
County of Bexar



Subscribed in my presence and sworn to before me on this: 08/22/2024

Notary Public
Electronically signed and notarized online using the Proof platform.

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The Johnstonian
August 21, 2024



PLANNING DEPARTMENT

Chloe Allen, Planner I

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Chloe Allen, hereby certify that the property owner and adjacent property owners of the following petition, CZ-24-05 were notified by First Class Mail on 8/15/24

Chloe Allen
Signature

RZ-24-08
SUP-24-03

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Chloe Allen personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

15th day of August, 2024

Julianne Edmonds
Notary Public Signature

Julianne Edmonds
Notary Public Name

My Commission expires on 1-15-2028

